

WEST HILLS MIXED-USE BUILDING
23133 W. SHERMAN PLACE, WEST HILLS, CA



BUILDING CRITERIA

PROJECT DESCRIPTION/DATA:
PROJECT IS A RESIDENTIAL DEVELOPMENT CONSISTING OF APARTMENTS (127 UNITS, 13 OF WHICH ARE RESTRICTED AFFORDABLE), MEDICAL OFFICE BUILDING AND REQUIRED PARKING. APARTMENTS ARE LOCATED ON TOP OF THE PARKING STRUCTURE AS TWO FIVE-STORY BUILDINGS ON A PLAZA/PODIUM LEVEL.
THIS PROJECT IS 100% PRIVATELY FUNDED NOT RECEIVING TAX CREDIT INCENTIVE.

LEGAL DESCRIPTION:
LOT B OF PARCEL MAP L.A. NO. 6363, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 278, PAGES 72 AND 73 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN # 2021-014-053

OCCUPANCY GROUP: B, R-2 (CBC TABLE 503) / S-2
5 STORY ABOVE GRADE PER SECTION 510, 1 OF WHICH
1 STORY OF TYPE I-A (S-2), 4 STORY OF R-2 ABOVE OF TYPE III-A OVER 1 LEVEL OF BASEMENT GARAGE (S-2)
(PER SECTION 504.2 OF LABC 2014 - NFPA 13 FOR STORY INCREASE)

USE: APARTMENT & MEDICAL OFFICE

BUILDING CONSTRUCTION TYPE: TYPE III-A (FULLY SPRINKLERED)
FIRE EXTINGUISHING SYSTEM: TYPE I (FULLY SPRINKLERED)
BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

ZONING (T)(Q)RASA-1D

NUMBER OF UNITS ALLOWED (70,395.3 / 400 PER 12.11.5) 175

NUMBER OF UNITS ALLOWED
(PER CPC-2007-1244-VZC-HD-BL-SPR) 160

NUMBER OF UNITS PROPOSED 127

NUMBER OF STORIES ABOVE GRADE PLANE 5

NUMBER OF LEVELS BELOW GRADE PLANE 1

LOT / COVERAGE INFORMATION:

LOT SIZE: 70,395.3 SF (1.6 ACRES)

TOTAL BUILDABLE AREA: 59,858.13 SF. (SEE IMAGE BELOW AS PER 12.11.5)

TOTAL AREA OF BUILDING: 132,135.66 SF

FLOOR AREA RATIO (FAR): MAX. FAR = 3:1 (AS PER CPC-2007-1244-VZC-HD-BL-SPR)

132,135.66 SF / 59,858.13 SF = 2.21

48,865.11 SF (65% OF LOT AREA)

BUILDING FOOTPRINT:

CALCULATION FOR FIVE-STORY BUILDING

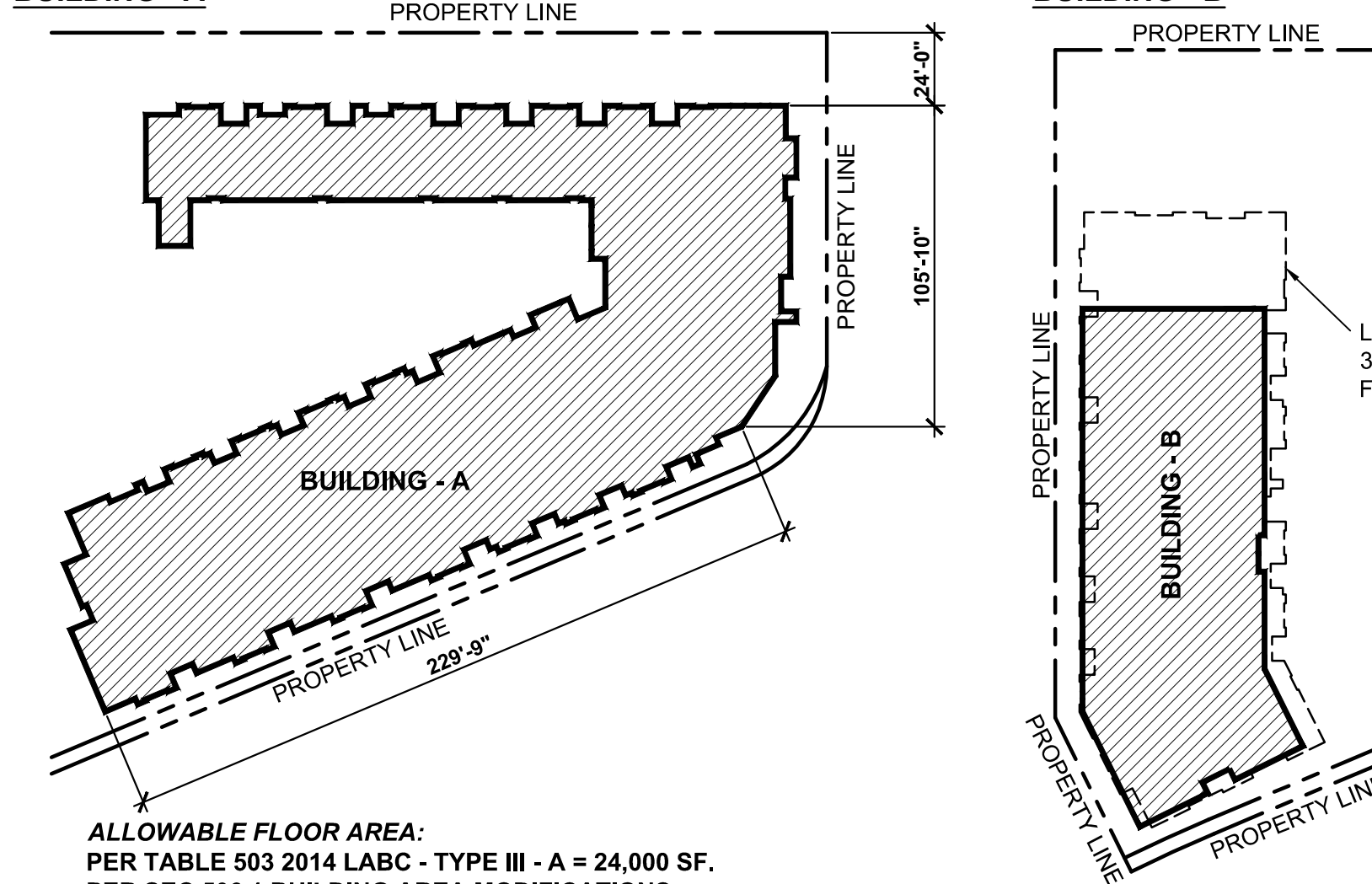
WITH 50% OF BASEMENT/PARKING LEVEL 2 PERIMETER LESS THAN 6'-0" BELOW THE UPPER FLOOR

DEFINITION AS PER SEC. 202

STORY: THAT PORTION OF A BUILDING INCLUDED BETWEEN THE UPPER SURFACE OF A FLOOR AND THE UPPER SURFACE OF THE FLOOR OR ROOF NEXT ABOVE (ALSO SEE "BASEMENT," "BUILDING HEIGHT," "GRADE PLANE" AND "MEZZANINE"). IT IS MEASURED AS THE VERTICAL DISTANCE FROM THE TOP OF THE SUCCESSIVE TIERS OF BEAMS OR FINISHED FLOOR SURFACES AND, FOR THE TOPMOST STORY, FROM THE TOP OF THE FLOOR FINISH TO THE TOP OF THE CEILING JOISTS OR, WHERE THERE IS NOT A CEILING, TO THE TOP OF THE ROOF RAFTERS.

DISA-AD: THAT PORTION OF A BUILDING OR FACILITY DESIGNED FOR HUMAN OCCUPANCY INCLUDED BETWEEN THE UPPER SURFACE OF A FLOOR AND UPPER SURFACE OF THE FLOOR OR ROOF NEXT ABOVE. A STORY CONTAINING ONE OR MORE MEZZANINES HAS MORE THAN ONE FLOOR LEVEL. IF THE FINISHED FLOOR LEVEL DIRECTLY ABOVE A BASEMENT OR UNUSED UNDER-FLOOR SPACE IS MORE THAN SIX FEET (1829 mm) ABOVE GRADE FOR MORE THAN 50 PERCENT, THE TOTAL PERIMETER OR IS MORE THAN 12 FEET (3658 mm) ABOVE GRADE AT ANY POINT, THE BASEMENT OR UNUSED UNDER-FLOOR SPACE SHALL BE CONSIDERED AS A STORY.

BUILDING AREA CALCULATIONS:
SPRINKLER USE FOR AREA INCREASE SHALL NOT BE USED FOR STORY INCREASE
BUILDING - A



ALLOWABLE FLOOR AREA:
 PER TABLE 503.2014 LABC - TYPE III - A = 24,000 SF.
 PER SEC 506.1 BUILDING AREA MODIFICATIONS

$$A_b = \{A_1 + [A_1 \times l_1] + [A_1 \times l_2]\}$$

F = 105'-10" + 229'-9"
 = 335'-7"

P = 46'-3" + 210'-11" + 105'-10" + 229'-9" + 67'-0" +
 32'-4" + 146'-11"
 = 1,018'-6"

ALLOWABLE FLOOR AREA:
 PER TABLE 503 2014 LABC - TYPE III - A = 24,000 SF.
 PER SEC. 506.3 AUTOMATIC SPRINKLER INCREASE - 24,000 SF. X 2
 = 48,000 SF.

BUILDING - B (PER SEC. 506.5)

1ST (MED. OFC.) -	9,306.10 SF. / 28,500 = 0.33
2ND FLOOR -	11,605.14 SF. / 24,000 = 0.48
3RD FLOOR -	11,605.14 SF. / 24,000 = 0.48
4TH FLOOR -	11,605.14 SF. / 24,000 = 0.48
SUM OF RATIOS = 0.33 + 0.48 + 0.48 + 0.48 = 1.77 < 2	

BUILDING - A	=	87,557.74 SF.
BUILDING - B	=	44,121.52 SF.
GRAND TOTAL	=	131,679.26 SF.

BUILDING - A		MAX. AREA = 147,792 SF
1ST FLOOR	=	21,972.94 SF.
2ND FLOOR	=	21,861.60 SF.
3RD FLOOR	=	21,861.60 SF.
4TH FLOOR	=	21,861.60 SF.
TOTAL	=	87,557.74 SF. < 147,792 SF.

PARKING:
REQUIRED (AS PER CPC 2007 1244)

7 1-BR AFFORDABLE UNITS X 1 SPACE/UNIT	=	7 STALLS
59 1-BR MARKET-RATE UNITS X 1.7 SPACES/UNIT	=	100 STALLS
6 2-BR AFFORDABLE UNITS X 2 SPACE/UNIT	=	12 STALLS
55 2-BR MARKET-RATE UNITS X 2 SPACES/UNIT	=	110 STALLS
TOTAL RESIDENTIAL REQUIREMENTS	=	229 STALLS

8,280 SF of MEDICAL OFC BLDG X 1/200 STALLS	= 41 STALLS
TOTAL PARKING REQUIRED	= 270 STALLS

PROVIDED:		MEDICAL (INCLUDING MINIMUM 2 SPACES REQUIRED FOR ADA (26-50 PARKING PROVIDED)	
RESIDENTIAL UNITS (INCLUDING 2% ADA REQUIREMENT)			
COMPACT	= 97 STALLS	COMPACT	= 16 STALLS
STANDARD	= 127 STALLS	STANDARD	= 23 STALLS
ACCESSIBLE	= 5 STALLS	ACCESSIBLE	= 2 STALLS
TOTAL	= 229 STALLS		

TOTAL PARKING PROVIDED: 270 STALLS
"ZERO GUEST PARKING PROVIDED"

BICYCLE PARKING:
RESIDENTIAL: EXEMPT FROM BICYCLE PARKING AS PER 12.21 A16 (g)(2) PER
 CPC-2007-1244-VZC-HD-BL-SPR

**REQUIRED BICYCLE PARKING (PER GREEN BLDG CODE SECTION 5.106.4
NON-RESIDENTIAL):**
SHORT TERM = $45 \times 5\% = 2.25$ SAY 2 STALLS
LONG TERM = $20 \text{ TENANT} \times 5\% = 1$ STALL

PROVIDED:
SHORT TERM = 2 STALLS
LONG TERM = 1 STALL

REVISIONS

BUILDING AREA (BUILDING-A)

	AS PER SCHOOL DISTRICT	AS PER BUILDING CODE	AS PER ZONING CODE
R-2:			
SECOND FLOOR	23,243.34 S.F.	22,549.31 S.F.	21,972.94 S.F.
THIRD FLOOR	23,153.03 S.F.	22,455.97 S.F.	21,861.60 S.F.
FOURTH FLOOR	23,153.03 S.F.	22,455.97 S.F.	21,861.60 S.F.
FIFTH FLOOR	23,153.03 S.F.	22,455.97 S.F.	21,861.60 S.F.
TOTAL (R-2)	92,702.43 S.F.	89,917.22 S.F.	87,557.74 S.F.

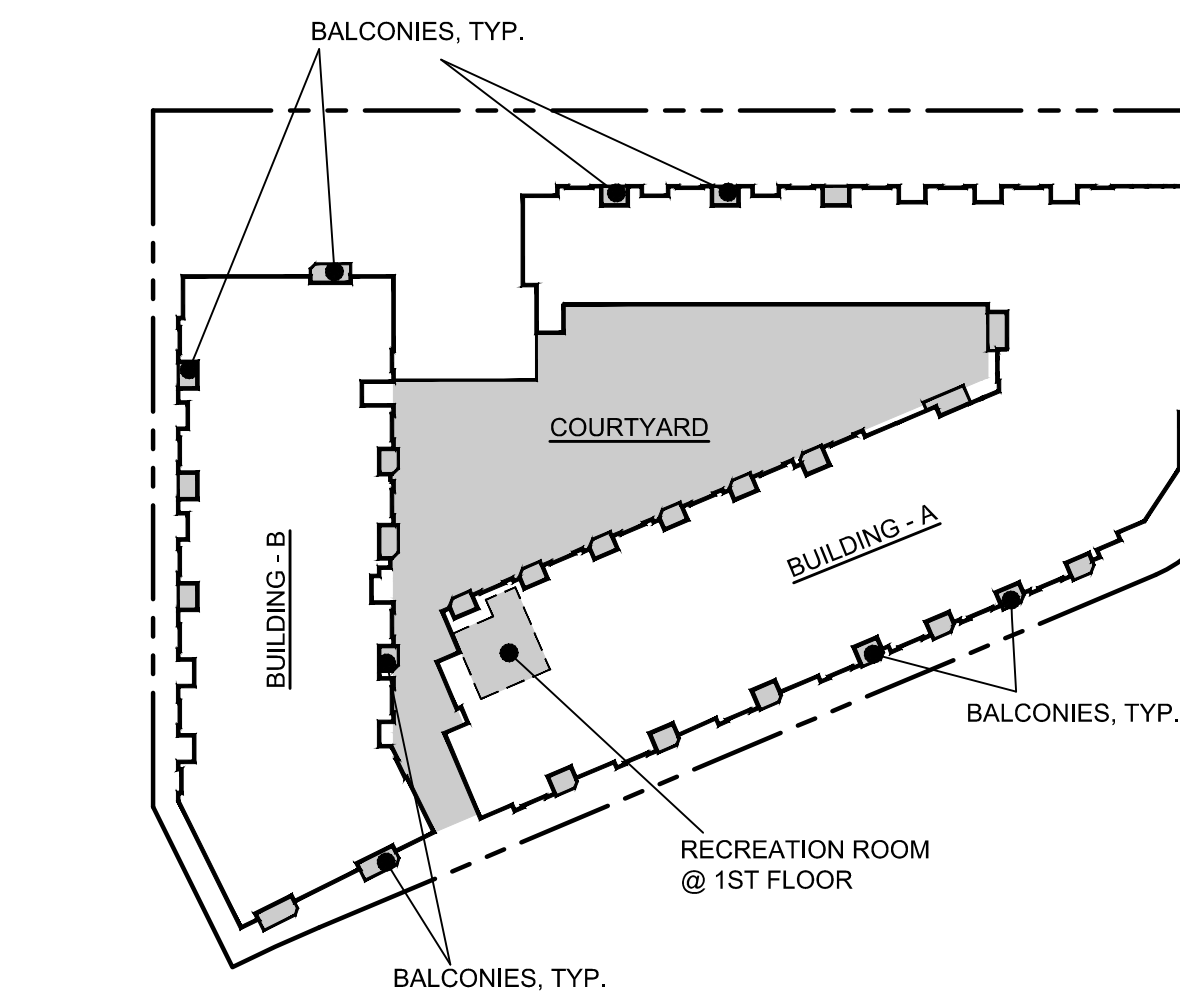
BUILDING AREA (BUILDING-B)

	AS PER SCHOOL DISTRICT	AS PER BUILDING CODE	AS PER ZONING CODE
B: SECOND FLOOR ———	9,026.71 S.F.	9,011.14 S.F.	8,281.57 S.F.
R-2:			
THIRD FLOOR ———	12,398.73 S.F.	11,998.42 S.F.	11,605.14 S.F.
FOURTH FLOOR ———	12,398.73 S.F.	11,998.42 S.F.	11,605.14 S.F.
FIFTH FLOOR ———	12,398.73 S.F.	11,998.42 S.F.	11,605.14 S.F.
TOTAL (R-2)	37,196.19 S.F.	35,995.26 S.F.	34,815.42 S.F.
GRAND TOTAL (R-2)	129,898.62 S.F.	125,912.48 S.F.	122,373.16 S.F.

GARAGE:	
GROUND LEVEL - P1	44,824.48 S.F.
LOWER LEVEL - P2	44,801.67 S.F.
TOTAL (S2)	89,626.15 S.F.

CITY OF LOS ANGELES OPEN SPACE REQUIREMENTS:
REQUIRED (AS PER LAMC 12.21.G.2)

66 1-BEDROOM UNITS X 100 SF	=	6,600 SF
61 2-BEDROOM UNITS X 125 SF	=	7,625 SF
TOTAL	=	14,225 SF



PROVIDED:		
BUILDING - A BALCONIES		BUILDING - B BALCONIES
1ST FLOOR - 12 UNITS X 50	= 600 SF.	2ND FLOOR - 5 UNITS X 50 = 250 SF.
2ND FLOOR - 19 UNITS X 50	= 950 SF.	3RD FLOOR - 5 UNITS X 50 = 250 SF.
3RD FLOOR - 19 UNITS X 50	= 950 SF.	4TH FLOOR - 5 UNITS X 50 = 250 SF.
4TH FLOOR - 19 UNITS X 50	= 950 SF.	TOTAL = 750 SF.
TOTAL	= 3,450 SF.	

OPEN SPACE CALCULATIONS:		
COURTYARD	=	11,824.92 SF.
BUILDING-A BALCONIES	=	3,450.00 SF.
BUILDING-B BALCONIES	=	750.00 SF.
RECREATION RM.	=	581.00 SF.
TOTAL	=	16,605.92 SF. > 14,225 SF.

RESIDENTIAL:
BUILDING - A: 91 UNITS - 48 (1-BEDROOM), 43 (2-BEDROOM)
BUILDING - B: 36 UNITS - 18 (1-BEDROOM), 18 (2-BEDROOM)
127 UNITS - 66 (1-BEDROOM), 61 (2-BEDROOM) APARTMENT UNITS
REQUIRED AFFORDABLE UNITS:
 10% X 127 = 12.7 SAY 13 UNITS
 PROVIDED: 13 UNITS

- 59 - MARKET-RATE 1 BEDROOM, 1 BATH (800 SF approx.)
- 7 - AFFORDABLE 1 BEDROOM, 1 BATH (800 SF approx.)
- 55 - MARKET-RATE 2 BEDROOMS, 2 BATH (1,150 SF approx.)
- 6 - AFFORDABLE 2 BEDROOMS, 2 BATH (1,150 SF approx.)

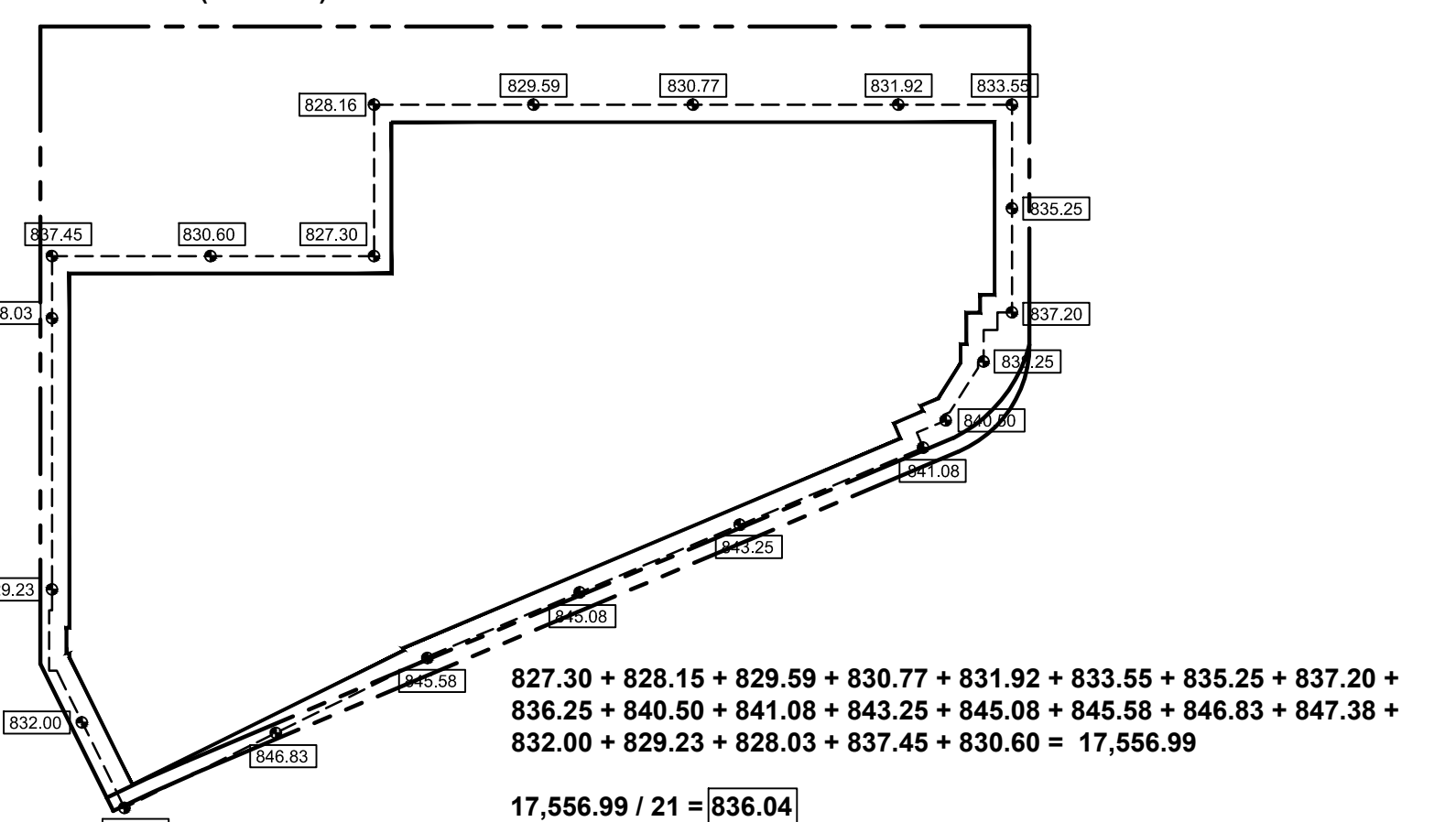
COMMERCIAL:
MEDICAL OFFICE BUILDING
MAX. ALLOWABLE AREA AS PER CPC-2007-1244-VZC-HD-BL-SPR: 10,500 SF.
PROVIDED: 9,068.89 SF.

BUILDING HEIGHT:
MAX. ALLOWABLE HEIGHT: 60'-0" (AS PER CPC-2007-1244-VZC-HD-BL-SPR)
PROVIDED: 56'-0"

AMENITIES:
INCLUDE A POOL, PARK/COURTYARD, AND CLUBHOUSE/RECREATION ROOM

GRADE PLANE AVERAGE CALCULATIONS:

DEFINITION AS PER SEC. 202
GRADE PLANE. A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS. WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINTS WITHIN THE AREA BETWEEN THE BUILDING AND THE LOT LINE OR, WHERE THE LOT LINE IS MORE THAN 6 FEET (1829 MM) FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET (1829 MM) FROM THE BUILDING.



REVISIONS	BY
09-01-15	

COVER SHEET

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY A METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH NARAGHI & ASSOCIATES ARCHITECTS WITHOUT PREJUDICE VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS

OWNER: NK WEST HILLS, LLC.
ADDRESS: 8500 WILSHIRE BLVD. #820
BEVERLY HILLS, CA 90211

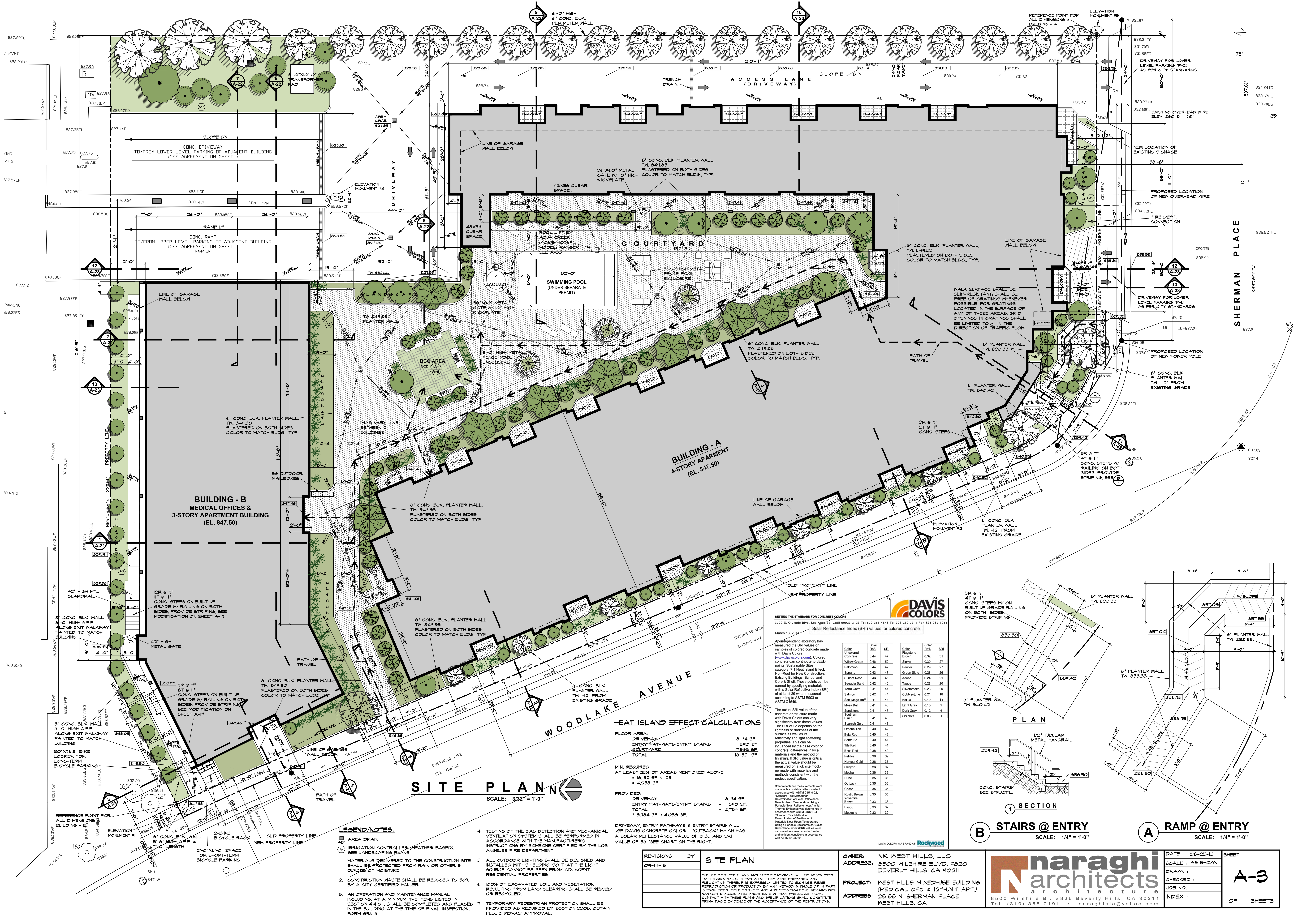
PROJECT: WEST HILLS MIXED-USE BUILDING
(MEDICAL OFFICE & 127-UNIT APT.
ADDRESS: 23133 W. SHERMAN PLACE,
WEST HILLS, CA

naraghi
architects
a r c h i t e c t u r e

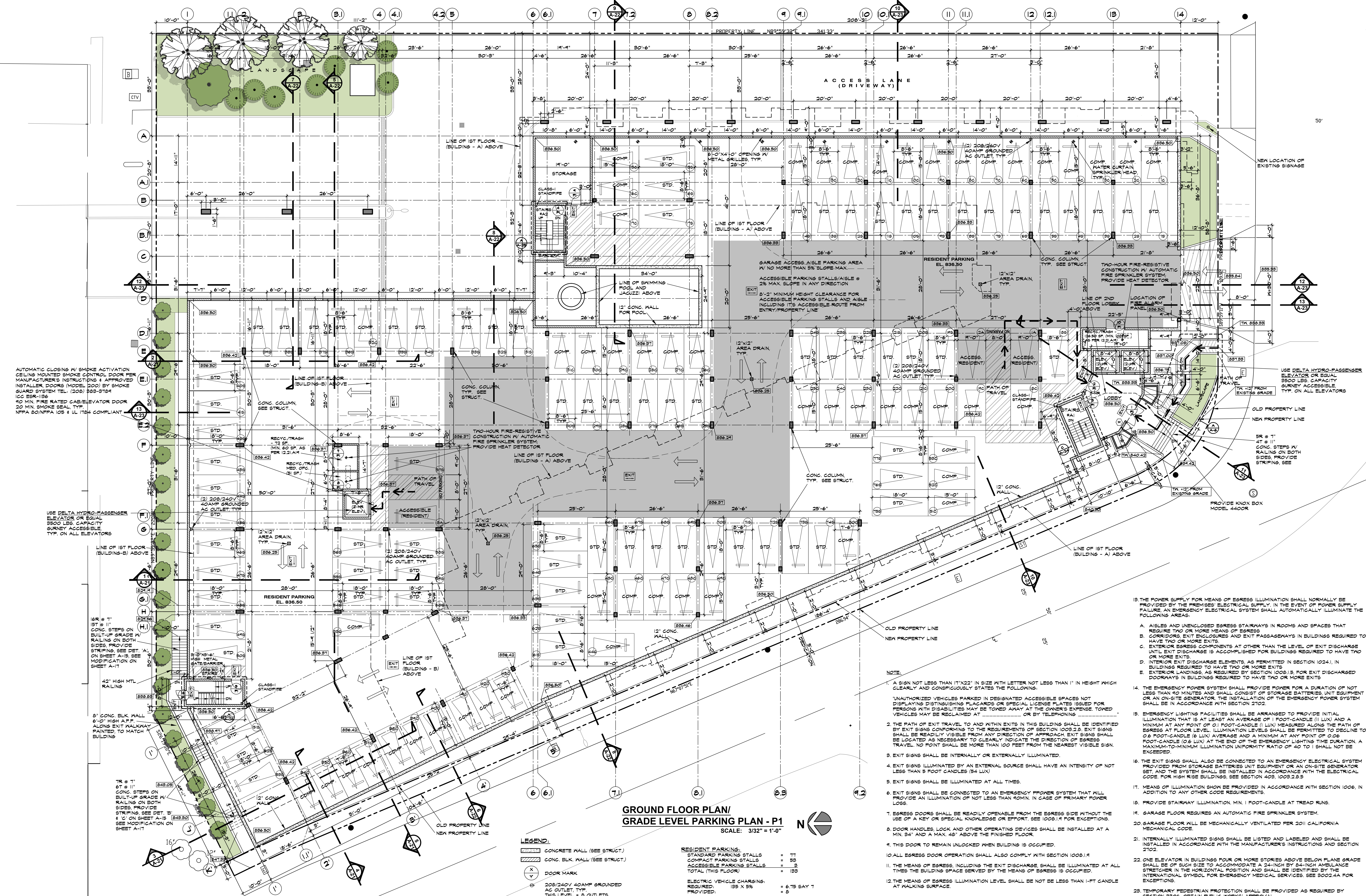
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DATE :	06-25-15
SCALE :	AS SHOWN
DRAWN :	
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JOB NO. :	
INDEX :	

A-1







**GROUND FLOOR PLAN/
GRADE LEVEL PARKING PLAN - P1**
SCALE: 3/32" = 1'-0"

- LEGEND:**
- CONCRETE WALL (SEE STRUCT.)
 - CONC. BLK. WALL (SEE STRUCT.)
 - DOOR MARK
 - 208/240V 40AMP GROUNDED AC OUTLET, TYP. THIS LEVEL = 8 OUTLETS
 - WATER CURTAIN SPRINKLER HEAD
- NOTE:**
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 VSS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
 - A LABEL STATING "EV CAPABLE" SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AT THE EV CHARGING SPACE.

- NOTE:**
- A SIGN NOT LESS THAN 17"x22" IN SIZE WITH LETTER NOT LESS THAN 1" IN HEIGHT WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:
"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING Distinguishing PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____"
 - THE PATH OF EXIT TRAVEL TO AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1009.2.2. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN.
 - EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
 - EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX)
 - EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
 - EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS.
 - EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1009.1.4 FOR EXCEPTIONS.
 - DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.
 - THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
 - ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1009.1.4
 - THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
 - THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT BE LESS THAN 1-FT CANDLE AT WALKING SURFACE.
 - IF THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
 - ABLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS
 - CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
 - EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
 - INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1024.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
 - EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1009.1.5, FOR EXIT DISCHARGED DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS
 - THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.
 - EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.
 - THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE FOR HIGH RISE BUILDINGS. SEE SECTION 403, 1009.2.5.5
 - MEANS OF ILLUMINATION SHOWN BE PROVIDED IN ACCORDANCE WITH SECTION 1006, IN ADDITION TO ANY OTHER CODE REQUIREMENTS.
 - PROVIDE STAIRWAY ILLUMINATION, MIN. 1 FOOT-CANDLE AT TREAD RUNS.
 - GARAGE FLOOR REQUIRES AN AUTOMATIC FIRE SPRINKLER SYSTEM.
 - GARAGE FLOOR WILL BE MECHANICALLY VENTILATED PER 201 CALIFORNIA MECHANICAL CODE.
 - INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
 - ONE ELEVATOR IN BUILDINGS FOUR OR MORE STORES ABOVE BELOW PLANE GRADE SHALL BE OF HIGH SIZE TO ACCOMMODATE A 24-INCH BY 64-INCH AMBULANCE STRETCHER IN THE HORIZONTAL POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. SEE 3002.4A FOR EXCEPTIONS.
 - TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306, OBTAIN PUBLIC WORKS' APPROVAL.

REVISIONS	BY	DATE	DESCRIPTION
01-14-15			
02-05-16			

GROUND FLOOR/GRADE LEVEL PARKING PLAN - P1	OWNER: NK WEST HILLS, LLC
	ADDRESS: 8500 WILSHIRE BLVD. #820 BEVERLY HILLS, CA 90211
	PROJECT: WEST HILLS MIXED-USE BUILDING (MEDICAL OPC & 127-UNIT APT.)
	ADDRESS: 23195 N. SHERMAN PLACE, WEST HILLS, CA

naraghi architects	DATE: 06-25-15	SHEET
8500 Wilshire Bl., #820 Beverly Hills, CA 90211 Tel. (310) 358.0191 • naraghiaa@yahoo.com	SCALE: AS SHOWN	A-5
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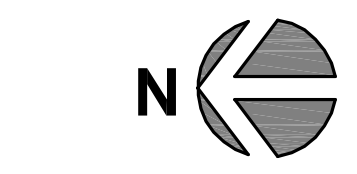


DRIVEWAY AT GRADE LEVEL

SECTION 1/2"=1'-0"

PARTIAL BUILDING-B SECOND FLOOR SHOWN

BUILDING - A PODIUM LEVEL/SECOND FLOOR



SCALE: 1/8" = 1'-0"

LEGEND/NOTES

- VENTILATION PROVIDING 5 AIR CHANGES PER HOUR (CBC 1203.9)
- DRYER-VENT 4" MIN. W/ TWO 90 BENDS FOR METAL DUCT. 6" MAX. FOR FLEX DUCT CONNECTOR
- ENERGY STAR COMPLIANT AND EQUIPPED WITH READILY ACCESSIBLE HUMIDISTAT
- SMOKE DETECTORS (CBC 910.4)
- HARD-WIRED INTERCONNECTED SMOKE ALARMS W/ BATTERY BACKUP. LOCATE SMOKE DETECTORS IN BEDROOMS AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (TYP). ALARMS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED
- 1-HR FIRE-RATED SOUND INSULATED WALL, SEE (C) 101
- 1-HR FIRE-RATED WALL, SEE (A) 101
- ALL EXTERIOR WALLS ARE FIRE-RETARDANT-TREATED WOOD FRAMING PER SEC. 602.3, SEE (A) 101
- 2-HR FIRE-RATED WALL (ELEVATOR, STAIRS, SHAFTS) SEE (A) 101
- 1-HR FIRE-RATED FIRE BARRIER
- 1-HR FIRE-RATED WALL W/ GRAB BAR BACKING, SEE (A) 101
- 1-HR FIRE-RATED PLUMBING WALL, 2X6 STUDS
- DOOR MARK
- WINDOW MARK
- CMA CARBON MONOXIDE ALARM

BUILDING-A MAILBOX TYP. ELEVATION
1/2"=1'-0"

BUILDING-A MAILBOX TYP. ELEVATION
1/2"=1'-0"

REVISIONS	BY
04-14-15	

**BUILDING - A
PODIUM LEVEL/SECOND FLOOR**

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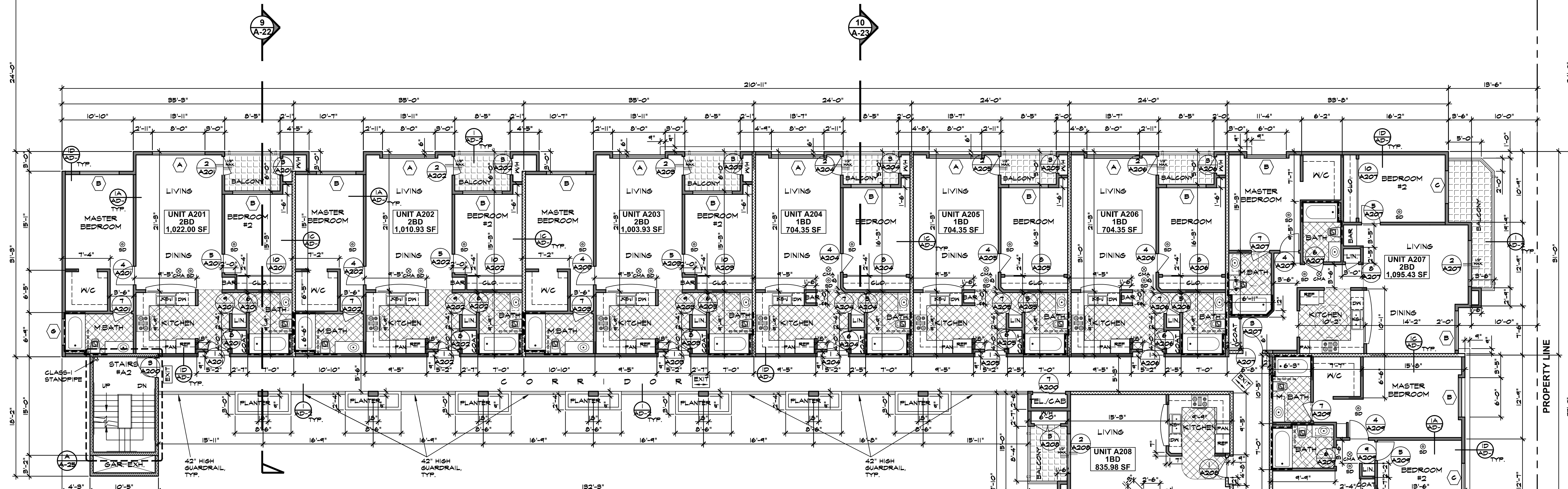
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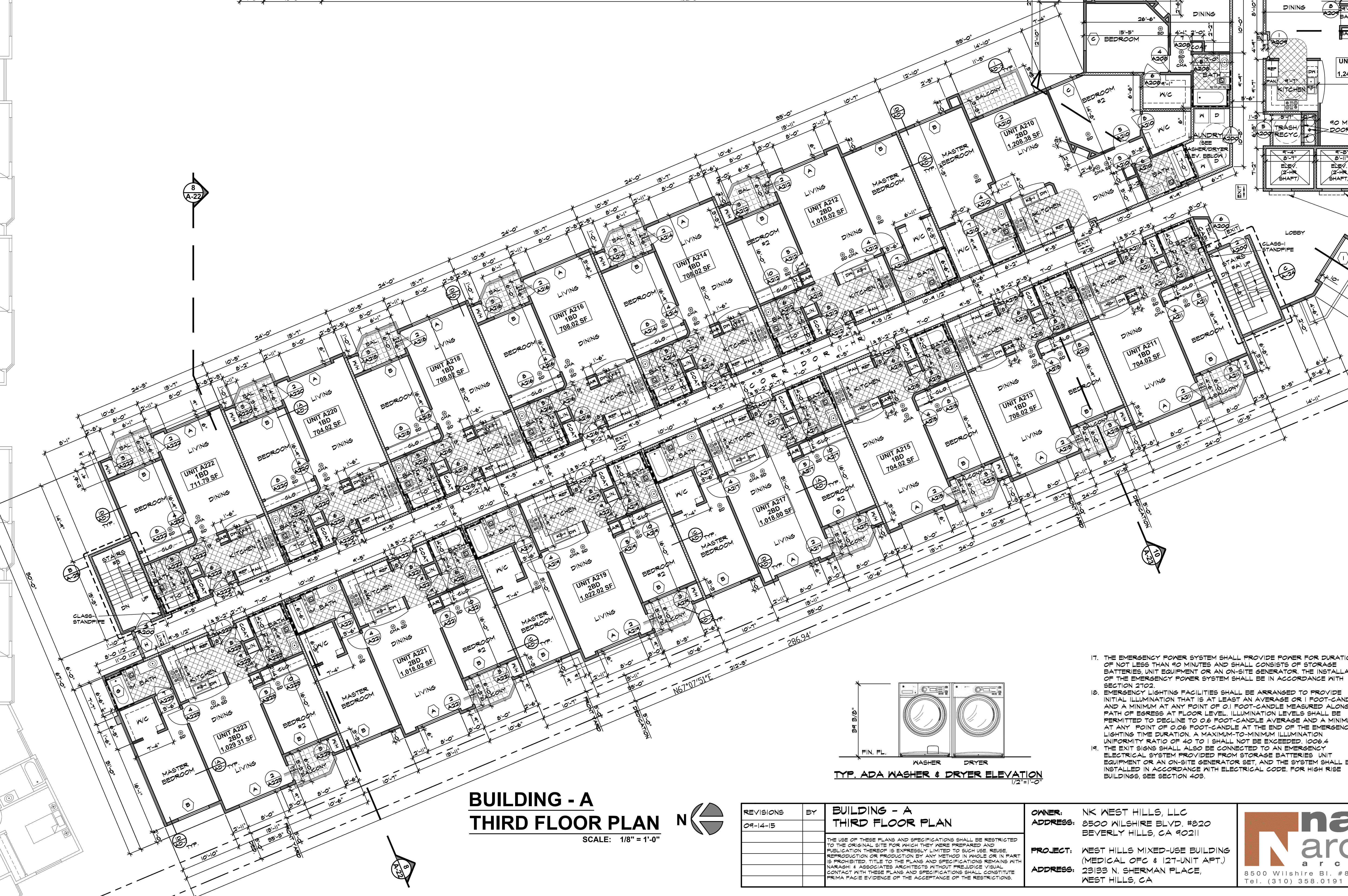
A-7
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LEGEND/NOTES

- VENTILATION PROVIDING 5 AIR CHANGES PER HOUR (CFC 1208.3)
- DRYER-VENT 4" MIN. W/ TWO 90 BENDS FOR METAL DUCT, 6" MAX. FOR FLEX DUCT CONNECTOR
- ENERGY STAR COMPLIANT AND EQUIPPED WITH READILY ACCESSIBLE HUMIDISTAT
- SMOKE DETECTORS (CEC910.9)
- HARDWIRED INTERCONNECTED SMOKE ALARMS W/ BATTERY BACKUP, LOCATE SMOKE DETECTORS IN BEDROOMS AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (TYP.) ALARMS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED
- 1-HR FIRE-RATED SOUND INSULATED PARTY WALL, SEE (C 15)
- 1-HR FIRE-RATED MALL, SEE (A 15)
- ALL EXTERIOR WALLS ARE FIRE-RETARDANT-TREATED WOOD FRAMING PER SEC. 602.3, SEE (D 15)
- 2-HR FIRE-RATED WALL (ELEVATOR, STAIRS, SHAFTS) SEE (C 15)
- 1-HR FIRE-RATED FIRE BARRIER
- 1-HR FIRE-RATED MALL W/ GRAB BAR BACKINGS, SEE (C 15)
- 1-HR FIRE-RATED PLUMBING WALL, 2X6 STUDS
- DOOR MARK
- WINDOW MARK
- CARBON MONOXIDE ALARM

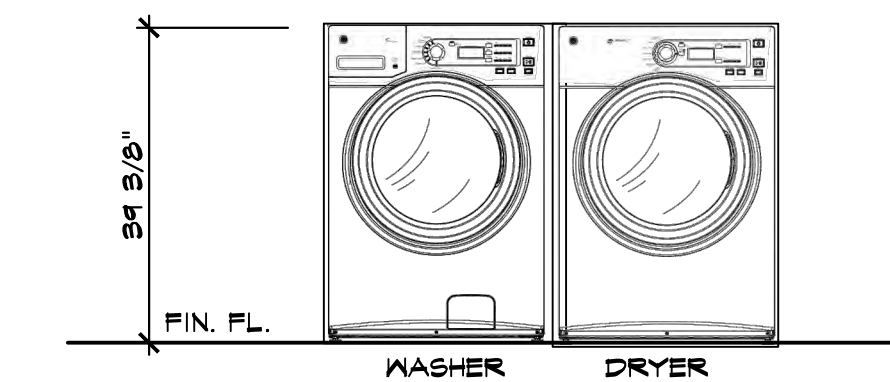


PARTIAL
BUILDING-B
THIRD FLOOR
SHOWN



FIRE DEPARTMENT NOTES:

- PROVIDE FIRE SPRINKLER THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 1A:10B OR 2A:10B:10B WITHIN 15 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, ALSO DURING CONSTRUCTION. (LAWC 91.142)
- PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 10 BC FOR KITCHEN ELECTRICAL ROOM, MECHANICAL ROOM, OR PARKING GARAGE.
- PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPARTMENT INSPECTOR.
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE ADDRESS SIDE OF BUILDING.
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
- EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-CDOT CANDLE.
- INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2102.
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1012-01.5.3)
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEC. 1008.14 FOR EGRESS DOORS.
- DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.
- ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1008.14.002.1.1.
- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
 - A. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
 - B. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - C. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - D. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1024.1 IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - E. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.15 FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.



TYP. ADA WASHER & DRYER ELEVATION
1/2"=1'-0"

BUILDING - A THIRD FLOOR PLAN SCALE: 1/8" = 1'-0"



REVISIONS	BY
04-14-15	

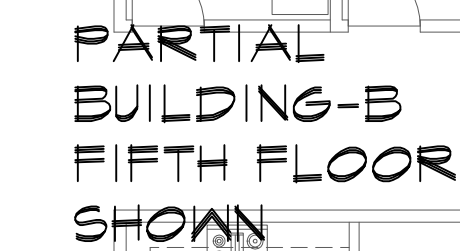
BUILDING - A THIRD FLOOR PLAN


THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND REPLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR REPRODUCTION BY ANY MEANS OR IN ANY FORM IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH NARAGHI & ASSOCIATES ARCHITECTS WITHOUT PREJUDICE TO VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE A BREACH OF THE AGREEMENT OF THE RESTRICTIONS.

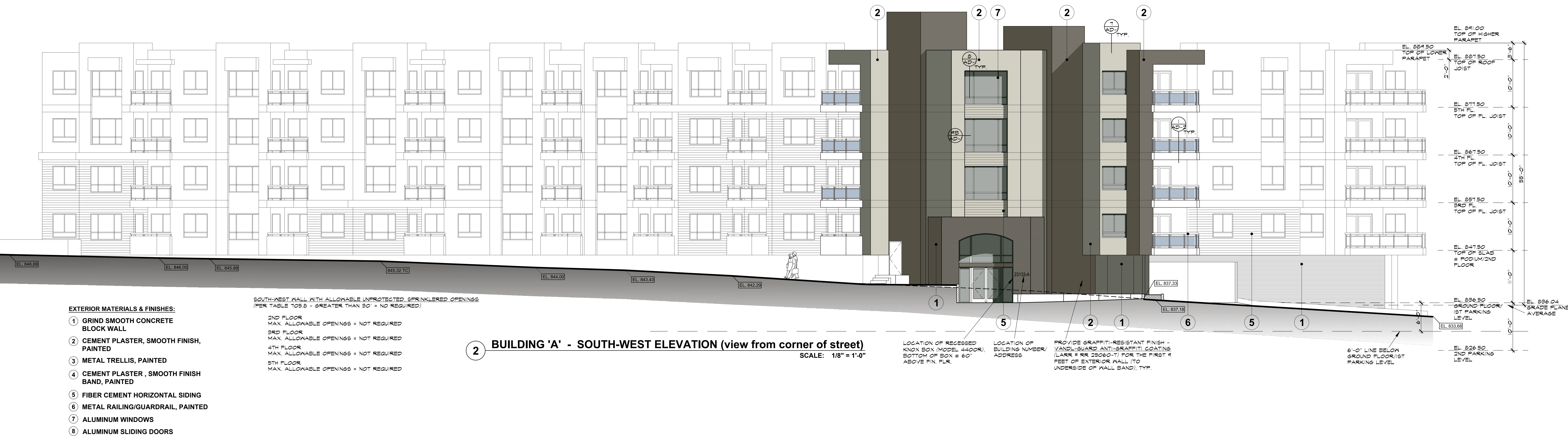
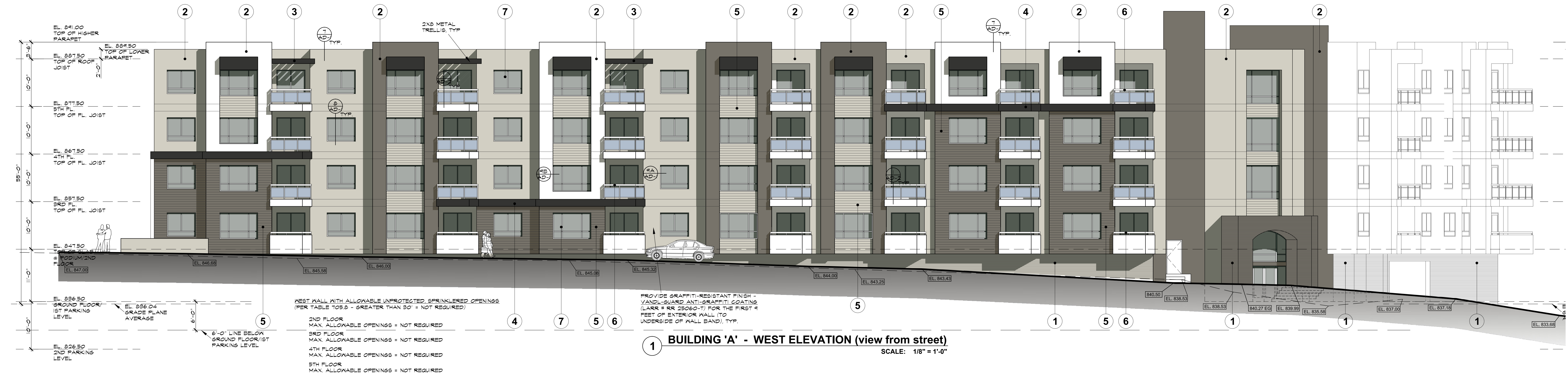
OWNER: NK WEST HILLS, LLC
ADDRESS: 8500 WILSHIRE BLVD. #820 BEVERLY HILLS, CA 90211
PROJECT: WEST HILLS MIXED-USE BUILDING (MEDICAL OFC & 121-UNIT APT.)
ADDRESS: 25139 N. SHERMAN PLACE, WEST HILLS, CA

naraghi
architects
8500 Wilshire Bl. #820 Beverly Hills, CA 90211
Tel. (310) 358.0191 • naraghi@narchitects.com

DATE: 06-25-15
SCALE: AS SHOWN
DRAWN:
CHECKED:
JOB NO. 1
INDEX:
SHEET
A-8
OF SHEETS



REVISIONS	BY	BUILDING - A FIFTH FLOOR PLAN	OWNER: NK WEST HILLS, LLC ADDRESS: 2800 WILSHIRE BLVD. #820 BEVERLY HILLS, CA 90211		DATE: 06-25-15 SCALE: AS SHOWN DRAWN: CHECKED: JOB NO.: INDEX:	SHEET A-10 OF SHEETS
04-14-15		THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND NO REUSE OR REPRODUCTION IS EXPRESSLY LIMITED TO SUCH REUSE. NO REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF NARAGHI & ASSOCIATED ARCHITECTS WITHOUT PREJUDICE TO VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.	PROJECT: WEST HILLS MIXED-USE BUILDING (MEDICAL OFC & [27-UNIT APT.]) ADDRESS: 2133 N. SHERMAN PLACE, WEST HILLS, CA		8500 Wilshire Bl., #826 Beverly Hills, CA 90211 Tel. (310) 358.0191 • naraghia@aia.yahoo.com	



EXTERIOR MATERIALS & FINISHES:

- 1 GRIND SMOOTH CONCRETE BLOCK WALL
- 2 CEMENT PLASTER, SMOOTH FINISH, PAINTED
- 3 METAL TRELLIS, PAINTED
- 4 CEMENT PLASTER, SMOOTH FINISH BAND, PAINTED
- 5 FIBER CEMENT HORIZONTAL SIDING
- 6 METAL RAILING/GUARDRAIL, PAINTED
- 7 ALUMINUM WINDOWS
- 8 ALUMINUM SLIDING DOORS

SOUTH-WEST WALL WITH ALLOWABLE UNPROTECTED, SPRINKLERED OPENINGS (PER TABLE TOS.5 - GREATER THAN 50' = NO REQUIRED)

- 2ND FLOOR
MAX. ALLOWABLE OPENINGS = NOT REQUIRED
- 3RD FLOOR
MAX. ALLOWABLE OPENINGS = NOT REQUIRED
- 4TH FLOOR
MAX. ALLOWABLE OPENINGS = NOT REQUIRED
- 5TH FLOOR
MAX. ALLOWABLE OPENINGS = NOT REQUIRED

2 BUILDING 'A' - SOUTH-WEST ELEVATION (view from corner of street)
SCALE: 1/8" = 1'-0"

LOCATION OF RECESSED KNOX BOX (MODEL 4400R), BOTTOM OF BOX = 60" ABOVE FIN. FLR.

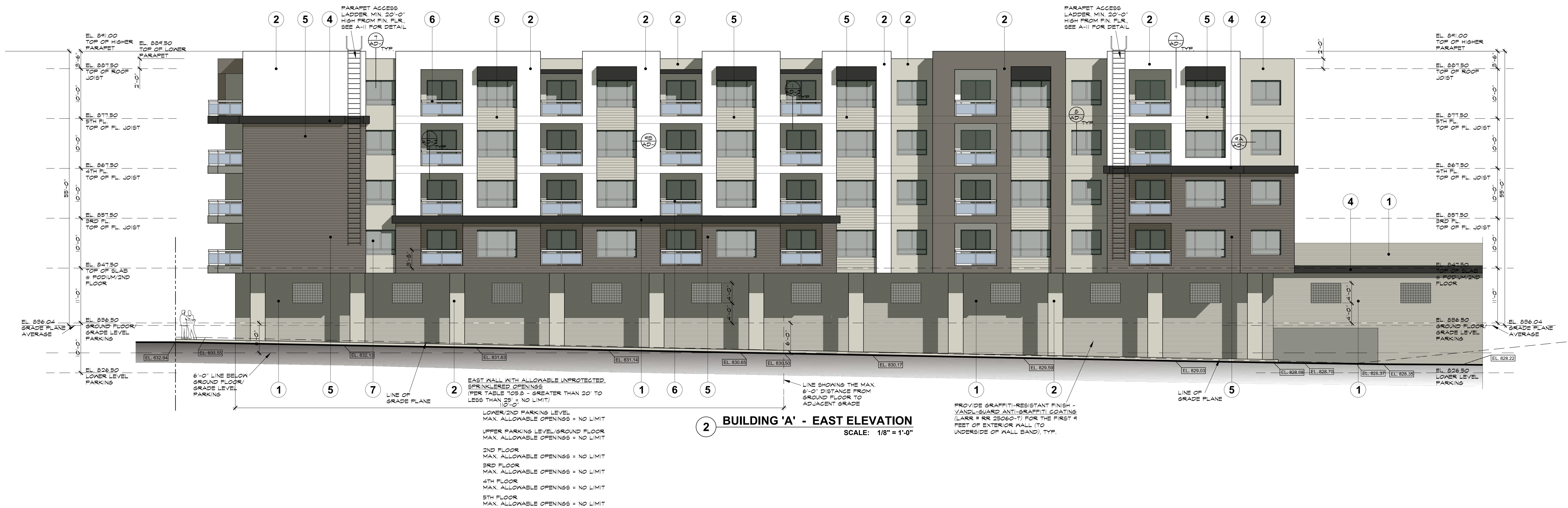
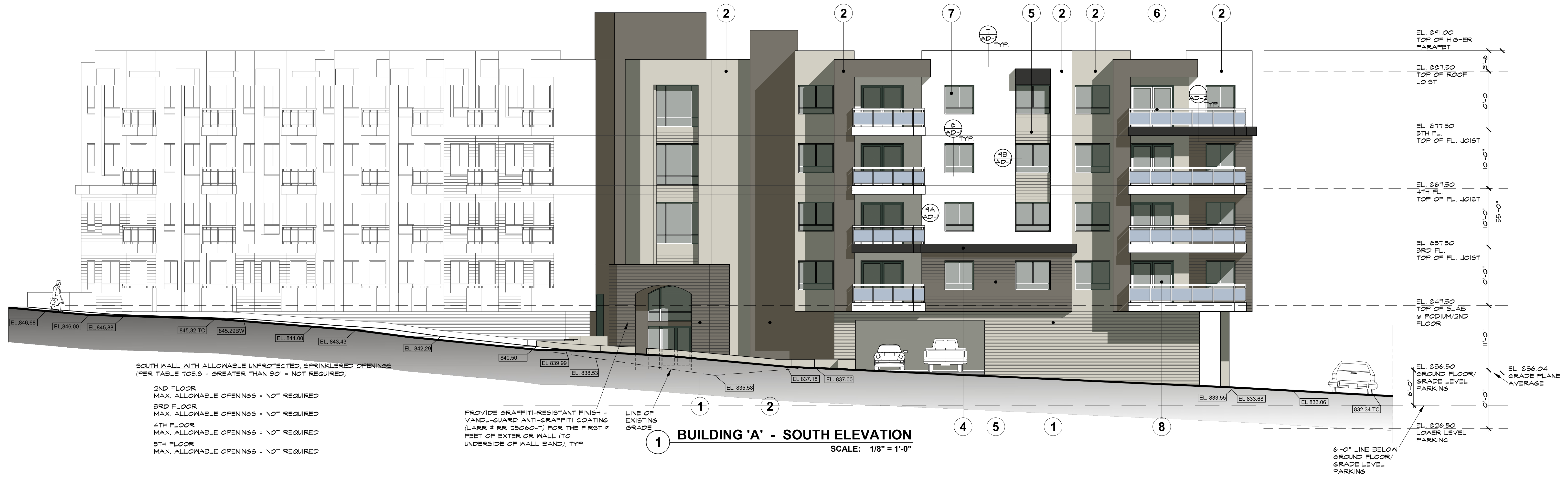
LOCATION OF BUILDING NUMBER/ ADDRESS

PROVIDE GRAFFITI-RESISTANT FINISH - VANDL-GUARD ANTI-GRAFFITI COATING (LARR # RR 25060-T) FOR THE FIRST 4 FEET OF EXTERIOR WALL (TO UNDERSIDE OF WALL BAND), TYP.

6'-0" LINE BELOW GROUND FLOOR/1ST PARKING LEVEL

REVISIONS	BY	BUILDING - A ELEVATIONS	OWNER:	nk BEVERLY HILLS	DATE:	06-25-15	SHEET
09-14-15			ADDRESS:	8500 WILSHIRE BLVD. #820 BEVERLY HILLS, CA 90211	SCALE:	AS SHOWN	A-12
			PROJECT:	WEST HILLS MIXED-USE BUILDING (MEDICAL OFC & 121-UNIT APT.)	DRAWN:		OF SHEETS
			ADDRESS:	23133 N. SHERMAN PLACE, WEST HILLS, CA	CHECKED:		
					INDEX:		

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REVISIONS	BY	DATE	DESCRIPTION
01-14-15			

BUILDING - A ELEVATIONS	OWNER: NK WEST HILLS, LLC	DATE: 06-25-15	SHEET
	ADDRESS: 8500 WILSHIRE BLVD. #820 BEVERLY HILLS, CA 90211	SCALE: AS SHOWN	A-13
	PROJECT: WEST HILLS MIXED-USE BUILDING (MEDICAL OFC & 121-UNIT APT.)	DRAWN:	OF SHEETS
	ADDRESS: 25133 N. SHERMAN PLACE, WEST HILLS, CA	CHECKED:	
		JOB NO.:	
		INDEX:	

2ND FLOOR
MAX. ALLOWABLE OPENINGS = $1.849 \text{ SF SF} \times 75\% = 1,402.09 \text{ SF}$
= $88.55 + (6 \times 82) + (6 \times 48) + 24 + 88.50 + (3 \times 2) + (2 \times 22.67)$
TOTAL OPENING = $751.11 \text{ } \langle 1,402.09 \text{ SF}$

3RD FLOOR
MAX. ALLOWABLE OPENINGS = $1.849 \text{ SF SF} \times 75\% = 1,402.09 \text{ SF}$
= $25.00 + 60 \text{ } \langle 1,402.09 \text{ SF}$ (6'x44') + (6'x42.67)
TOTAL OPENING = $665.19 \text{ SF } \langle 1,402.09 \text{ SF}$

4TH FLOOR
MAX. ALLOWABLE OPENINGS = $1.849 \text{ SF SF} \times 75\% = 1,402.09 \text{ SF}$
= $25.00 + 60 \text{ } \langle 1,402.09 \text{ SF}$ (2'x30') + (6'x44') + (6'x42.67)
TOTAL OPENING = $665.19 \text{ SF } \langle 1,402.09 \text{ SF}$

5TH FLOOR
MAX. ALLOWABLE OPENINGS = $1.849 \text{ SF SF} \times 75\% = 1,402.09 \text{ SF}$
= $25.00 + 60 \text{ } \langle 1,402.09 \text{ SF}$ (2'x30') + (6'x44') + (6'x42.67)
TOTAL OPENING = $665.19 \text{ SF } \langle 1,402.09 \text{ SF}$

1 **DETAIL**
1" = 1'-0"

Diagram illustrating the cross-section of a window assembly, showing the relationship between the window frame, wall, and roof structure. The diagram includes the following components and labels:

- WATERPROOFING MEMBRANE**
- MIN. 6" UP & DOWN WALL**
- (SUBSEAL-60 BY**
- MM BLDG. PRODUCTS, CORP.**
- 800.882-7682)**
- EXT. PLASTER**
- CORNER BEAD**
- TYPICAL**
- MIN. 3/4" SLOPE**
- 2X12 WOOD**
- @ 16" O.C.**
- 1/2" PLYWOOD**
- R-30 INSULATION**
- ROOF JOIST**
- SEE STRUCTURAL**
- HEADER**
- SEE STRUCT.**
- 2XB**
- 7/8" EXTERIOR PLASTER,**
- SMOOTH FINISH,**
- PAINTED**
- ALUMINUM SLIDING WINDOW FRAME**

2 **DETAIL**
1" = 1'-0"

2ND FLOOR
MAX. ALLOWABLE OPENINGS = 1,426.67 SF X 75% = 1,070.00 SF
TOTAL OPENING = (2X33.43) + (6X 23.97)
= 670.08 + 1,070.00 SF

3RD FLOOR
MAX. ALLOWABLE OPENINGS = 1,426.67 SF X 75% = 1,070.00 SF
TOTAL OPENING = (3X65.12) + (3X66.08)
= 521.56 + 1,070.00 SF

4TH FLOOR
MAX. ALLOWABLE OPENINGS = 1,426.67 SF X 75% = 1,070.00 SF
TOTAL OPENING = (3X65.12) + (3X66.08)
= 521.56 + 1,070.00 SF

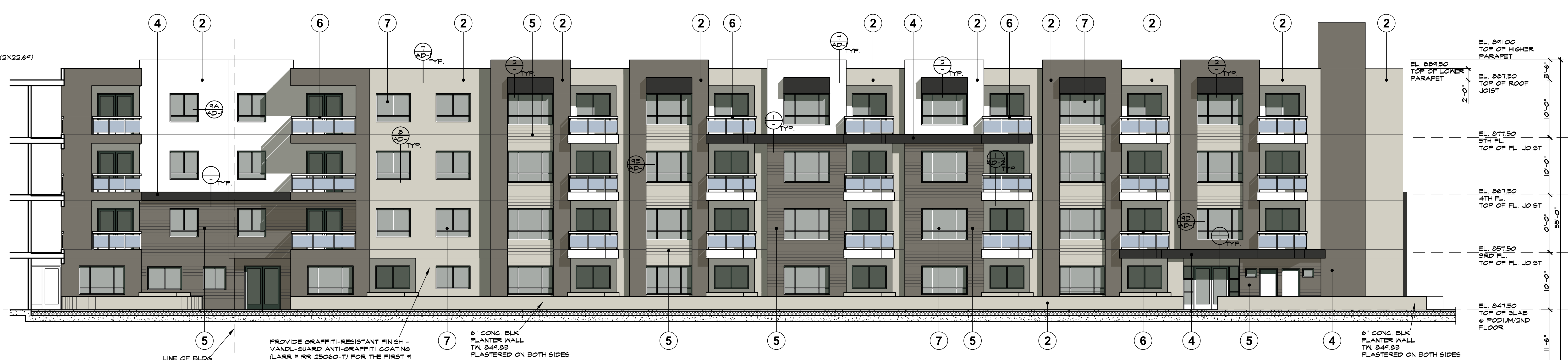
5TH FLOOR
MAX. ALLOWABLE OPENINGS = 1,426.67 SF X 75% = 1,070.00 SF
TOTAL OPENING = (5X60.40) + (3X81.93)
= 808.00 + 2,458.95 SF

1ST FLOOR
MAX. ALLOWABLE OPENINGS = 650.00 SF X 45% = 242.50 SF
TOTAL OPENING = 23.91 + 242.50 = 6.00
= 68.10 / 242.50 SF

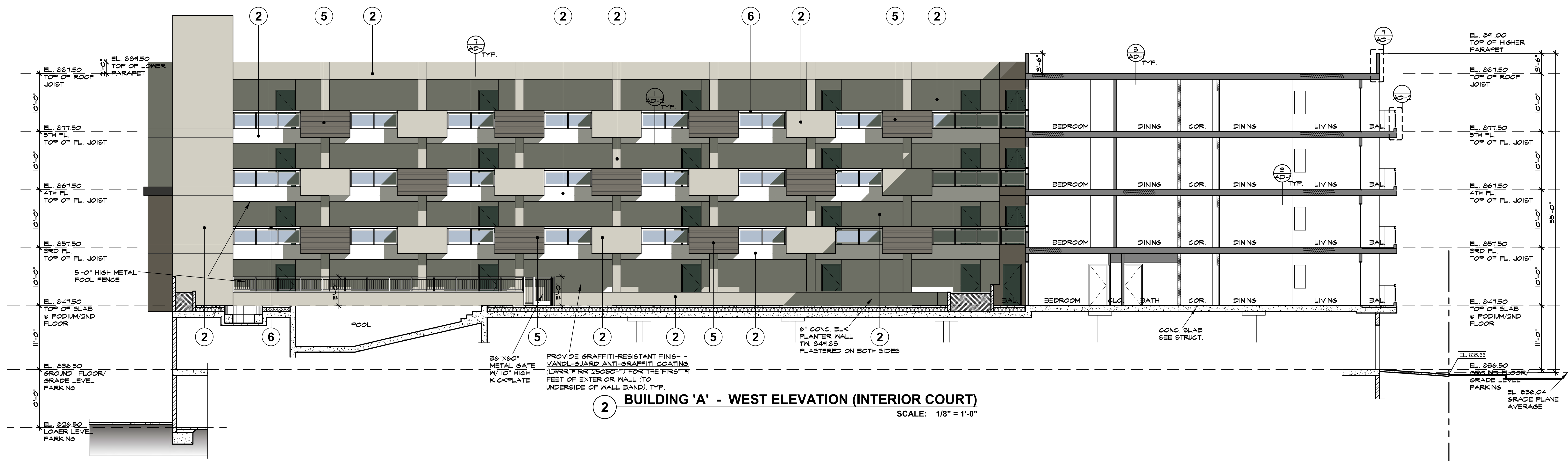
2ND FLOOR
MAX. ALLOWABLE OPENINGS = 650.00 SF X 45% = 242.50 SF
TOTAL OPENING = 21.50 + 6.00
= 33.50 SF X 242.50 SF

3RD FLOOR
MAX. ALLOWABLE OPENINGS = 650.00 SF X 45% = 242.50 SF
TOTAL OPENING = 21.50 + 6.00
= 33.50 SF X 242.50 SF

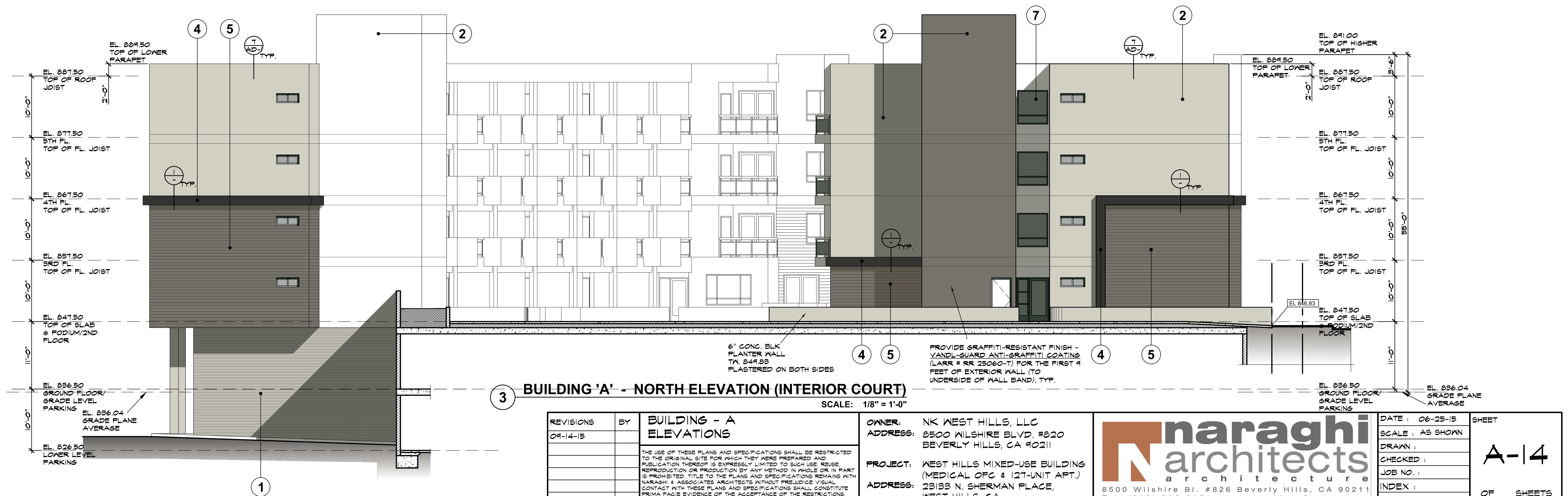
4TH FLOOR
MAX. ALLOWABLE OPENINGS = 650.00 SF X 45% = 242.50 SF
TOTAL OPENING = 21.50 + 6.00
= 33.50 SF X 242.50 SF



1 BUILDING 'A' - EAST ELEVATION (INTERIOR COURT)
SCALE: 1/8" = 1'-0"



2 BUILDING 'A' - WEST ELEVATION (INTERIOR COURT) SCALE: 1/8" = 1'-0"



3 BUILDING 'A' - NORTH ELEVATION (INTERIOR COURT) SCALE: 1/8" = 1'-0"

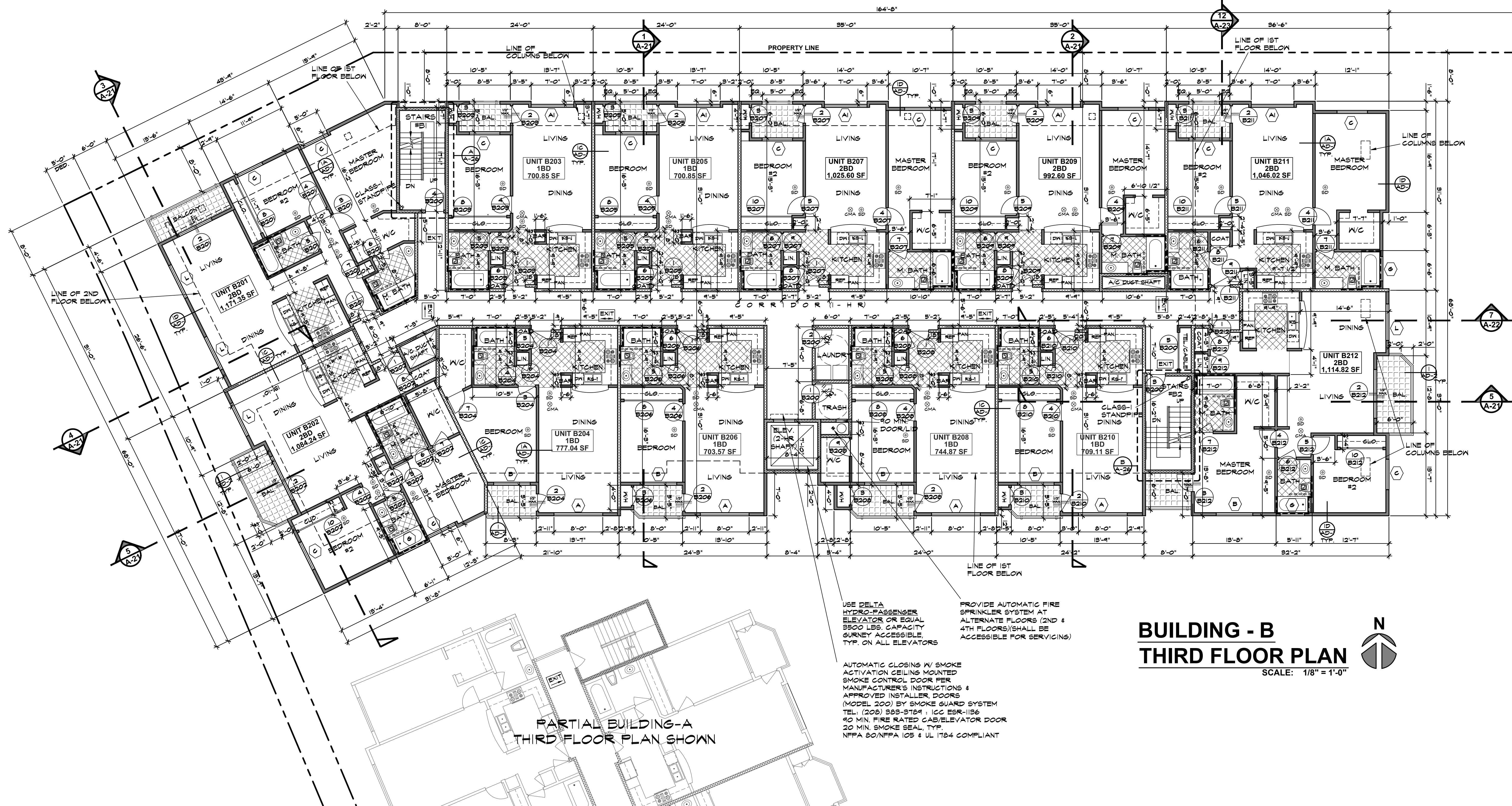
REVISED BY	BUILDING - A ELEVATIONS
09-14-15	
<p>THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND NO REPRODUCTION THEREOF SHALL BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY REPRODUCTION OR REPRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY VIOLATION OF THESE TERMS SHALL CONSTITUTE A BREACH OF THE PROFESSIONAL AGREEMENT AND SHALL BE SUBJECT TO THE FULL AND EXCLUSIVE JURISDICTION OF THE PROFESSIONAL BOARD OF ARCHITECTS. THE ARCHITECT'S ACCEPTANCE OF THE PROJECT SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.</p>	

OWNER: NK WEST HILLS, LLC
ADDRESS: 8500 WILSHIRE BLVD. #820
BEVERLY HILLS, CA 90211

PROJECT: WEST HILLS MIXED-USE BUILDING
(MEDICAL OFC & 127-UNIT APT.)

ADDRESS: 23133 N. SHERMAN PLACE,
WEST HILLS, CA

 naraghi architects architecture	DATE : 06-25-15	SHEET
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BUILDING - B
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND/NOTES

- VENTILATION PROVIDING 5 AIR CHANGES PER HOUR (CBC 1203.3)
DRYER-VENT 4" MIN. W/ TWO 90 BENDS FOR METAL DUCT, 6" MAX. FOR FLEX DUCT CONNECTOR
ENERGY STAR COMPLIANT AND EQUIPPED WITH READILY ACCESSIBLE HUMIDISTAT
- SMOKE DETECTORS (CBC 910.4)
HARD-WIRED INTERCONNECTED SMOKE ALARMS W/ BATTERY BACKUP, LOCATE SMOKE DETECTORS IN BEDROOMS AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (TYP.) ALARMS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED
- 1-HR FIRE-RATED SOUND INSULATED PARTY WALL, SEE (1C) (1D)
1-HR FIRE-RATED WALL, SEE (1A) (1B)
ALL EXTERIOR WALLS ARE FIRE-RETARDANT-TREATED WOOD FRAMING PER SEC. 602.3, SEE (1D) (1E)
2-HR FIRE-RATED WALL (ELEVATOR, STAIRS, SHAFTS) SEE (2) (2C)
1-HR FIRE-RATED FIRE BARRIER
1-HR FIRE-RATED WALL W/ GRAB BAR BACKING, SEE (1A) (1B)
1-HR FIRE-RATED PLUMBING WALL, 2X6 STUDS
DOOR MARK
WINDOW MARK
CARBON MONOXIDE ALARM

NOTES:

1. ALL BATHTUB SHALL HAVE 12" ACCESS PANEL, TYP.
2. ALL SHOWERS SHALL BE TILED FLOOR TO CEILING, PROVIDE APPROVED SHATTER-RESISTANT MATERIALS FOR EXTERIOR WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO HEIGHT NOT LESS THAN 10" ABOVE DRAIN INLET, SECTION 1203.3, USE OF WATER RESISTANT GYPSUM BOARD SHALL BE AS STATED IN SECTION 2504.2
3. ALL GLAZING AT SHOWER OR TUB SHALL BE SAFETY GLAZING.
4. PROVIDE ULTRA PLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION, EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION
5. WATER HEATER MUST BE STRAPPED TO WALL.
6. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE.
7. THE APPROVED STAIRWAY SIGN INDICATING THE FLOOR LEVEL, TERMINUS OF THE TOP AND BOTTOM OF THE STAIR AND THE IDENTIFICATION NUMBER OF THE STAIR SHALL BE LOCATED APPROXIMATELY 5 FEET ABOVE THE FLOOR LANDING AND BE READILY VISIBLE WHEN THE STAIR DOORS ARE IN THE OPEN OR CLOSED POSITION.
8. NO MECHANICAL DUCT PENETRATION ARE PERMITTED (EXCEPT THOSE SERVING THE EXIT ENCLOSURE) THROUGH EXIT ENCLOSURE WALLS OR CEILING.
9. SMOKE AND FIRE DAMPERS ARE REQUIRED AT DUCT PENETRATION OF AREA OR OCCUPANCY SEPARATION WALLS, HORIZONTAL EXIT WALLS, FIRE-RATED ROOF, FIRE-RESISTIVE OR ROOF CEILING ASSEMBLIES, AND FIRE-RATED CORRIDOR WALLS OR CEILING WHEN ANY EXTENSION OF THE DUCTS LEADS TO AN OPENING INTO THE CORRIDOR.
10. INTERIOR WALLS AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED A FLAME-SPREAD CLASS II.
11. INTERIOR WALLS AND CEILING FINISHES FOR ENCLOSED STAIRWAY SHALL NOT EXCEED A FLAME-SPREAD CLASS I.
12. CLOTHES DRYER(S) LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING FUEL BURNING APPLIANCES SHALL BE EXHAUSTED TO THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES (BUT NOT BENEATH THE BUILDING OR IN THE ATTIC AREA).
13. A 4" CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14' LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION, REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2.
14. EACH APPLIANCE PROVIDED AND INSTALLED SHALL MEET ENERGY STAR IF AN ENERGY STAR DESIGNATION IS AFFICABLE FOR THAT APPLIANCE.
15. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS WILL BE PROTECTED AGAINST THE PASSAGE OF ROBBOTS (IE. CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES)

16. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT.
17. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS, AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1 - 4.504.3
18. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL, THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
19. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
I. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
II. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01550
III. NSF/ANSI 140 AT THE GOLD LEVEL
IV. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD PROGRAM
20. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENT OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM
21. 80% OF THE TOTAL AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
I. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
II. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN AND SCHOOLS PROGRAM
III. CERTIFICATION UNDER THE RESIDENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM
IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01550
22. NEW HARDWOOD FLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.4
23. THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL, THE MANUFACTURER'S SPECIFICATIONS OR CHAIN OF CUSTODY CERTIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED, WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR.
25. WHOLE HOUSE EXHAUST FANS SHALL HAVE COVERS OR LOUVERS WHICH CLOSE WHEN THE FAN IS OFF AND THAT ARE INSULATED WITH MINIMUM INSULATION VALUE OF R-4.2
26. THE SIZE AND LAYOUT OF THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ACCA MANUAL J, ACCA 24-D AND ACCA 36-S, ASHRAE HANDBOOKS.
27. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES IN TABLE 4.503.2.
28. A COPY OF EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
29. THE MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6".
30. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.1(b) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT.
31. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOM.
32. HABITABLE ROOMS OTHER THAN A KITCHEN SHALL NOT BE LESS THAN 7' IN ANY DIRECTION.
33. REQUIRED CEILING HEIGHT IS 7'-6" MIN., 7'-0" MIN. IN KITCHEN, BATHROOMS, LAUNDRY ROOMS AND STORAGE ROOMS.
34. PROVIDE NATURAL LIGHT IN HABITABLE ROOMS, BY MEANS OF EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 8% OF FLOOR AREA.
35. PROVIDE NATURAL LIGHT FOR ADJOINING SPACES.
36. PROVIDE NATURAL VENTILATION IN HABITABLE ROOMS, BATHROOMS BY MEANS OF OPERABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF FLOOR AREA. MECHANICAL VENTILATING SYSTEMS MAY BE PERMITTED.
37. PROVIDE NATURAL VENTILATION FOR ADJOINING SPACES.
38. A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, TOILET ROOM AND LAUNDRY, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECT TO THE HOUSE, IS REQUIRED.

39. ONE ELEVATOR IN BUILDINGS FOUR OR MORE STORIES ABOVE OR BELOW GRADE PLANE SHALL BE OF SUCH A SIZE TO ACCOMMODATE A 24-INCH BY 64-INCH AMBULANCE STRETCHER IN THE HORIZONTAL, OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. SEE 8002.4 FOR EXCEPTIONS. 91.5002.4
40. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (1205.1 AND 1205.3)

INTERIOR WALL AND CEILING FINISH REQUIREMENT

ALL INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 805.

FLAME SPREAD RATINGS:
CLASS A: FLAME SPREAD 0-25, SMOKE-DEVELOPED 0-450
CLASS B: FLAME SPREAD 26-75, SMOKE-DEVELOPED 450-450
CLASS C: FLAME SPREAD 76-200, SMOKE-DEVELOPED 450-450

GROUP	SPRINKLERED		
	EXIT ENCLOSURE & EXIT PASSAGEWAY	CORRIDORS	ROOMS & ENCLOSED SPACES
R-2	C	C	C

* ANY DECORATIONS SHALL BE NONCOMBUSTIBLE OR FLAME-RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.)

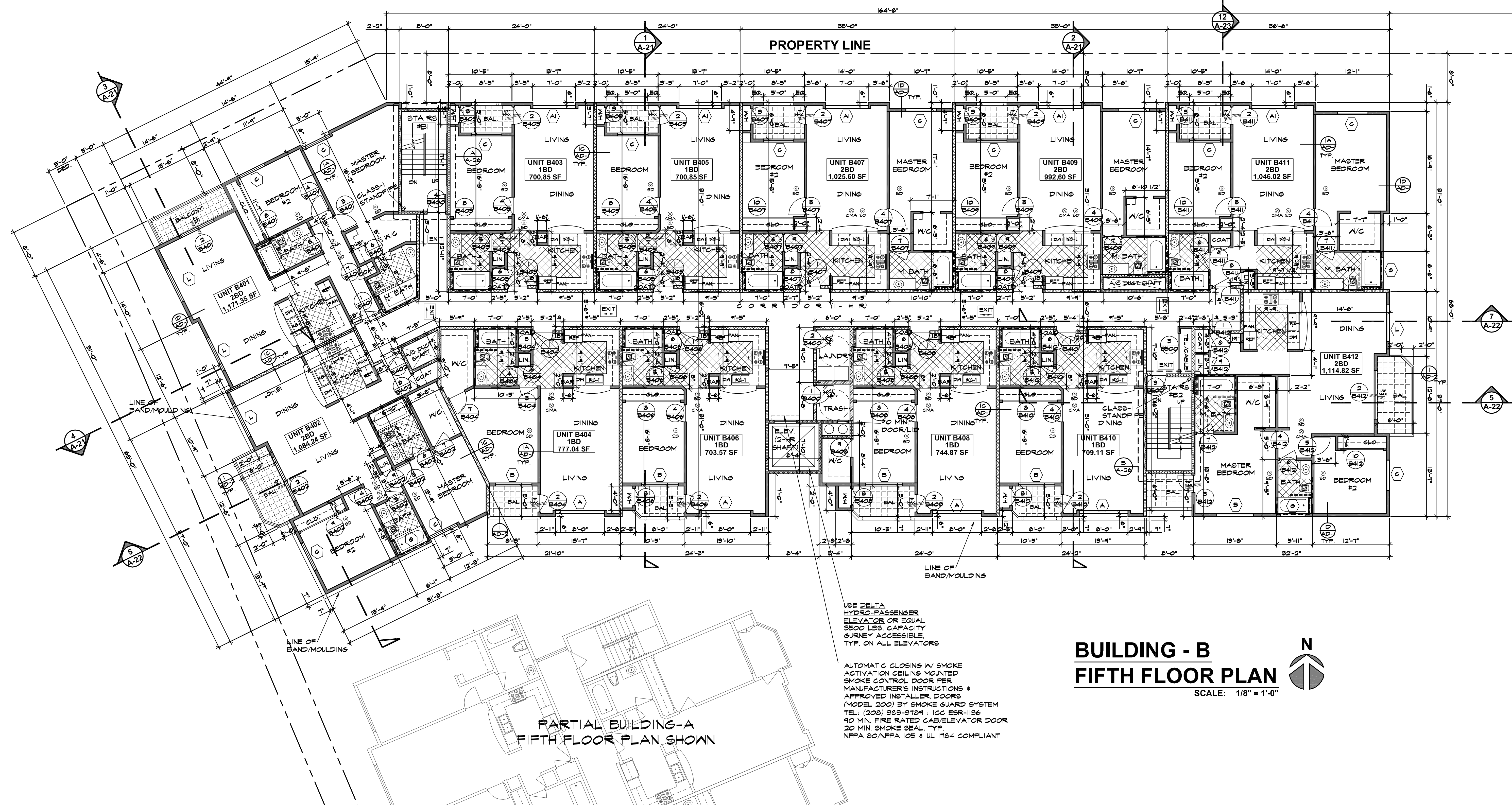
* AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT PER SECTION 909.2.8.

REVISIONS	BY	DESCRIPTION
09-14-15		

OWNER: NK WEST HILLS, LLC ADDRESS: 8500 WILSHIRE BLVD. #820 BEVERLY HILLS, CA 90211	PROJECT: WEST HILLS MIXED-USE BUILDING (MEDICAL OPG & 127-UNIT APT.) ADDRESS: 2315 N. SHERMAN PLACE, WEST HILLS, CA
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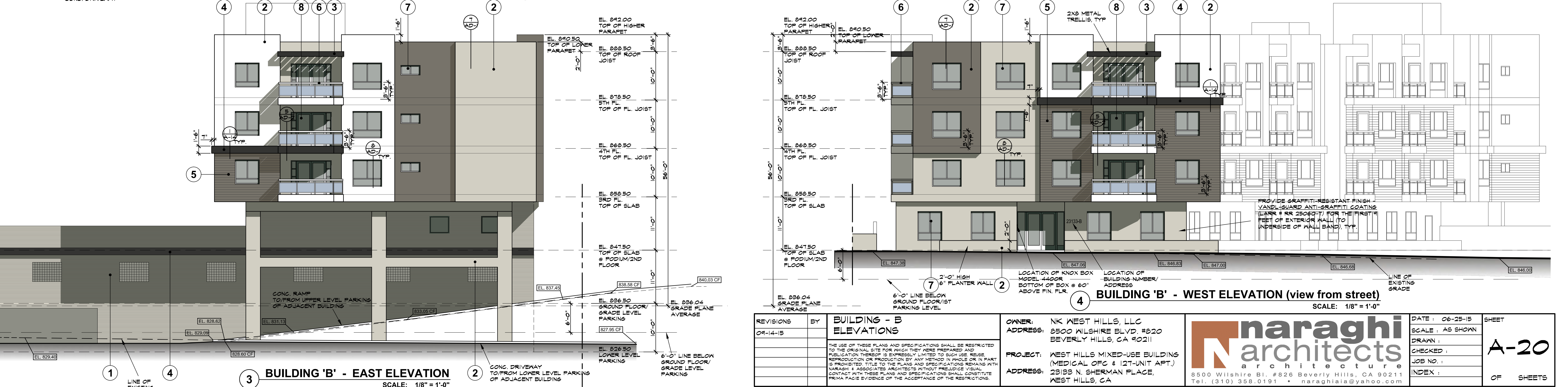
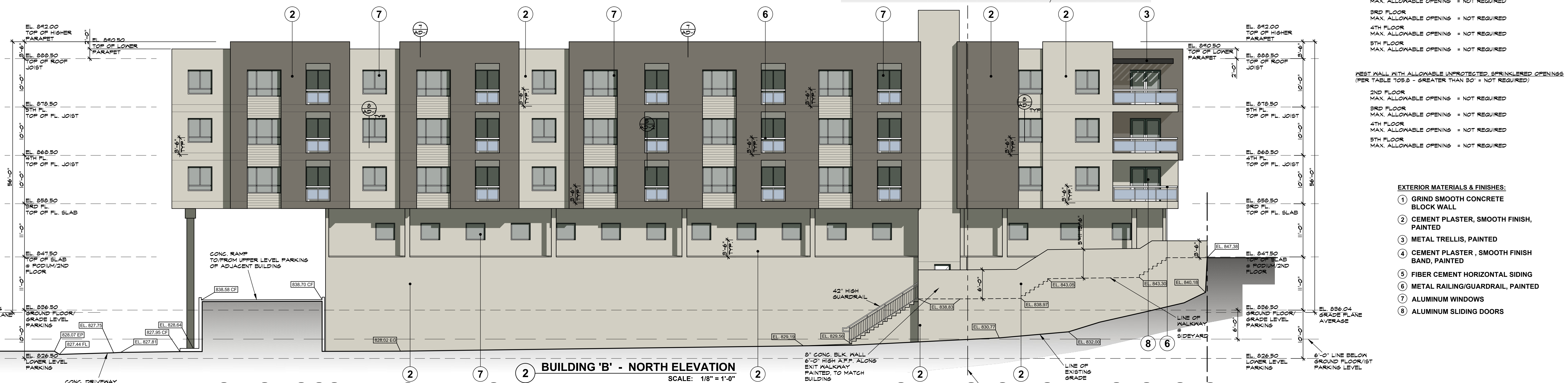
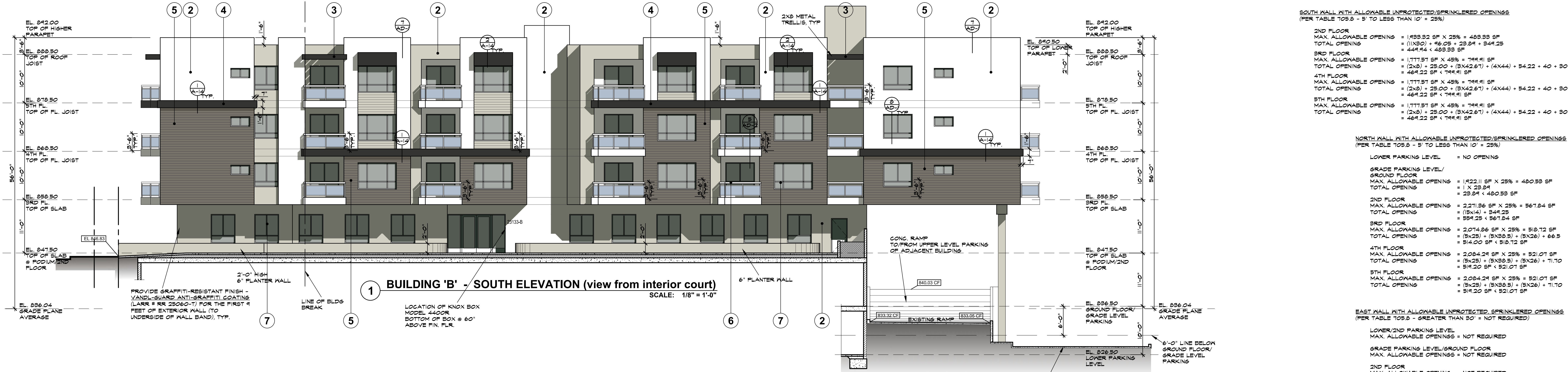


LEGEND/NOTES

- VENTILATION PROVIDING 5 AIR CHANGES PER HOUR (CBC 1209.3)
- DRYER-VENT 4" MIN. W/ TWO 90 BENDS FOR METAL DUCT 6" MAX. FOR FLEX DUCT CONNECTOR
- ENERGY STAR COMPLIANT AND EQUIPPED WITH READILY ACCESSIBLE HUMIDISTAT
- SD. SMOKE DETECTORS (CBC 910.4)
- HARDWIRED INTERCONNECTED SMOKE ALARMS W/ BATTERY BACKUP LOCATE SMOKE DETECTORS IN BEDROOMS AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (TYP.) ALARMS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED
- 1-HR FIRE-RATED SOUND INSULATED PARTY WALL, SEE (1C) (1D)
- 1-HR FIRE-RATED WALL, SEE (1A) (1D)
- ALL EXTERIOR WALLS ARE FIRE-RETARDANT-TREATED MOOD FRAMING PER SEC. 602.3, SEE (1D)
- 2-HR FIRE-RATED WALL (ELEVATOR, STAIRS, SHAFTS) SEE (2) (1D)
- 1-HR FIRE-RATED FIRE BARRIER
- 1-HR FIRE-RATED WALL W/ GRAB BAR BACKING, SEE (1A) (1D)
- 1-HR FIRE-RATED PLUMBING WALL, 2X6 STUDS
- DOOR MARK
- WINDOW MARK
- CMA CARBON MONOXIDE ALARM

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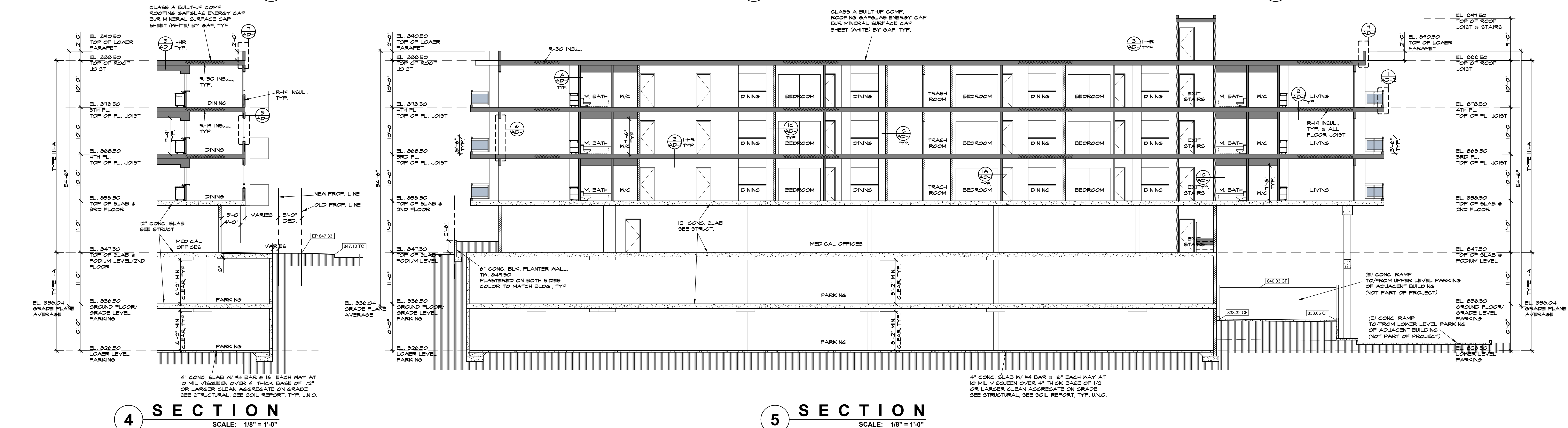
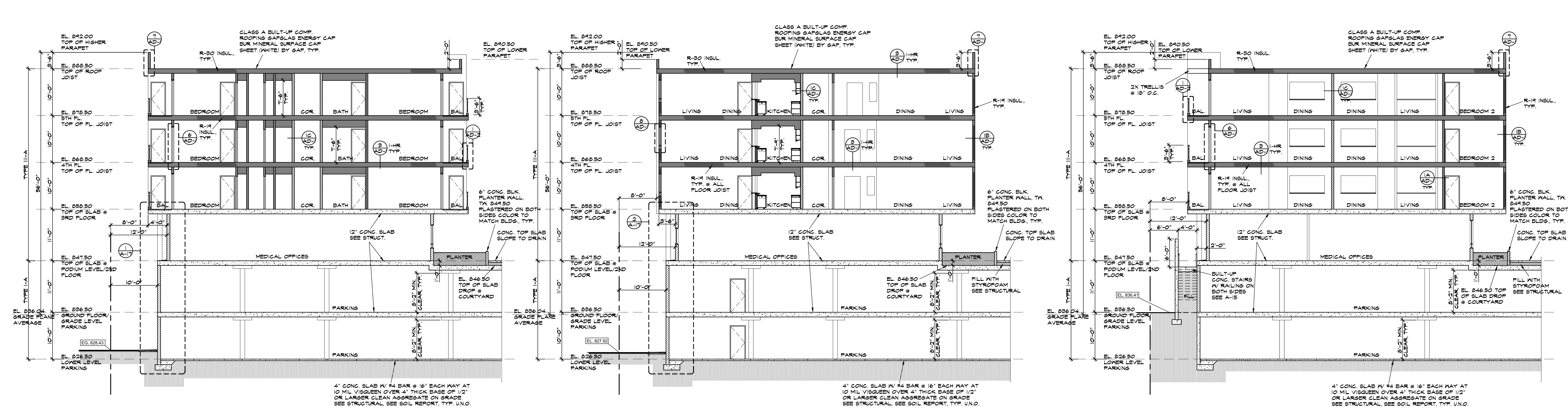
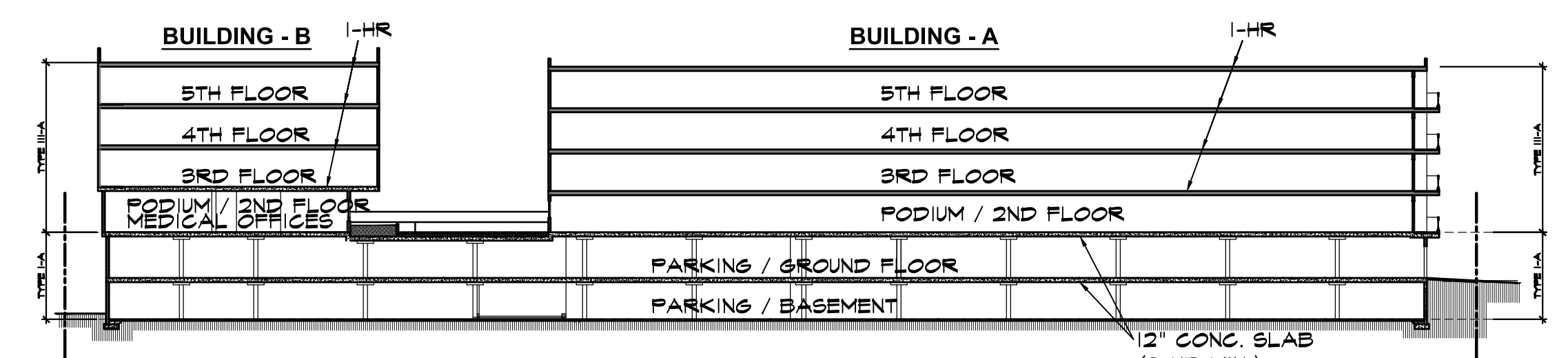


TABLE 601, FIRE-RESISTANCE RATING REQUIREMENT FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE I		TYPE III	
	A	B	A	B
PRIMARY STRUCTURAL FRAME	3	2	1	0
BEARING WALLS EXTERIOR INTERIOR	3 3	2 2	1 1	0 0
NONBEARING WALLS & PARTITION EXTERIOR	3	2	SEE TABLE 602	
NONBEARING WALLS & PARTITION INTERIOR	0	0	0	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	2	2	1	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1 1/2	1	1	0

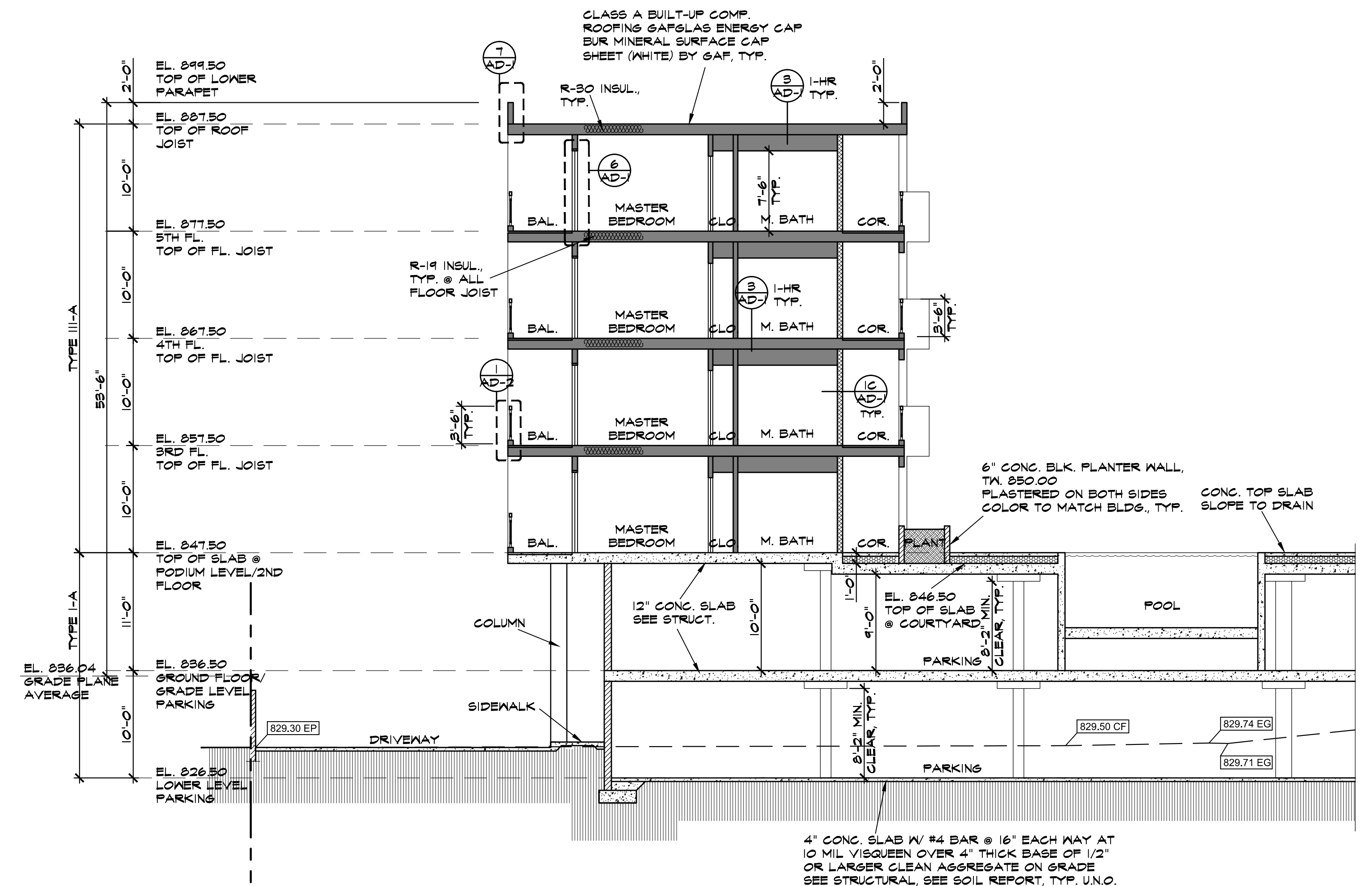
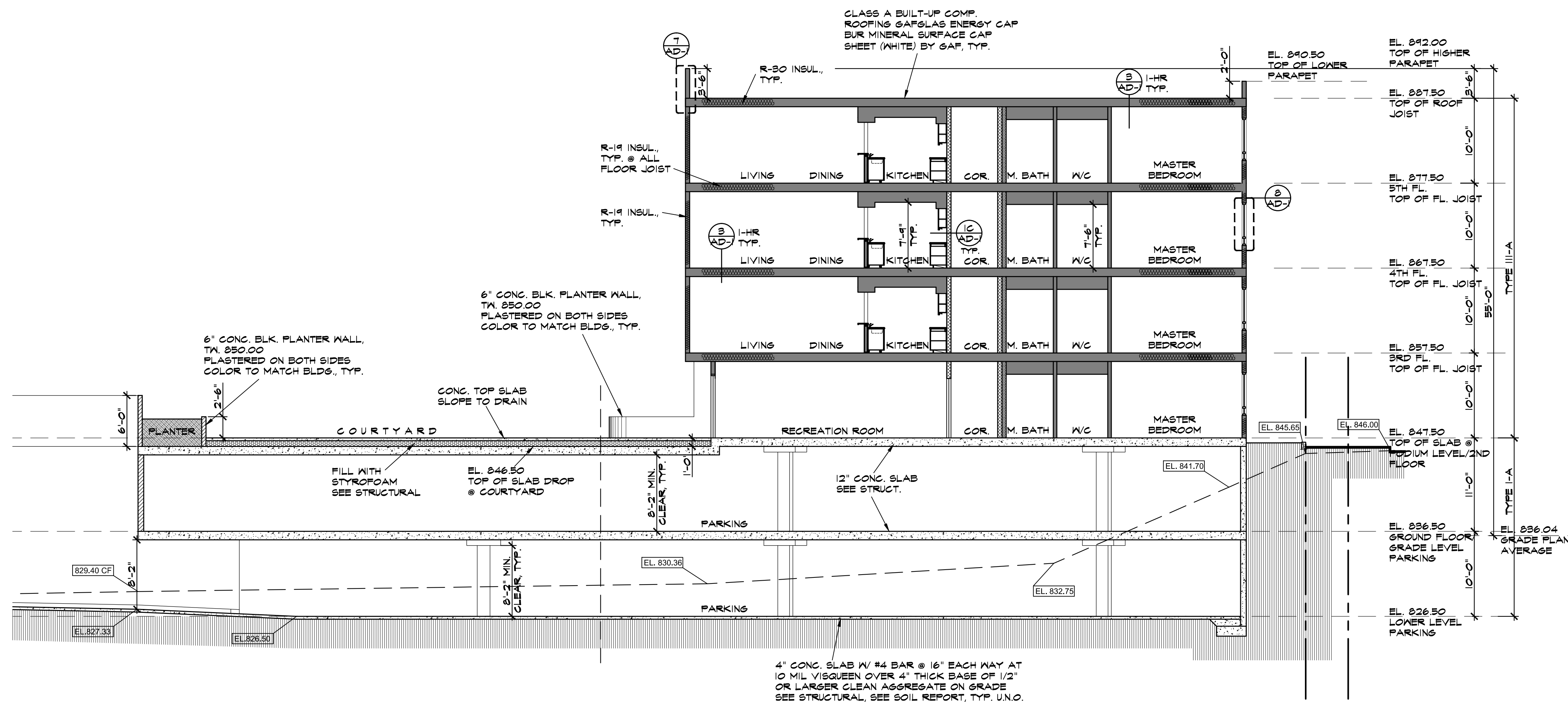
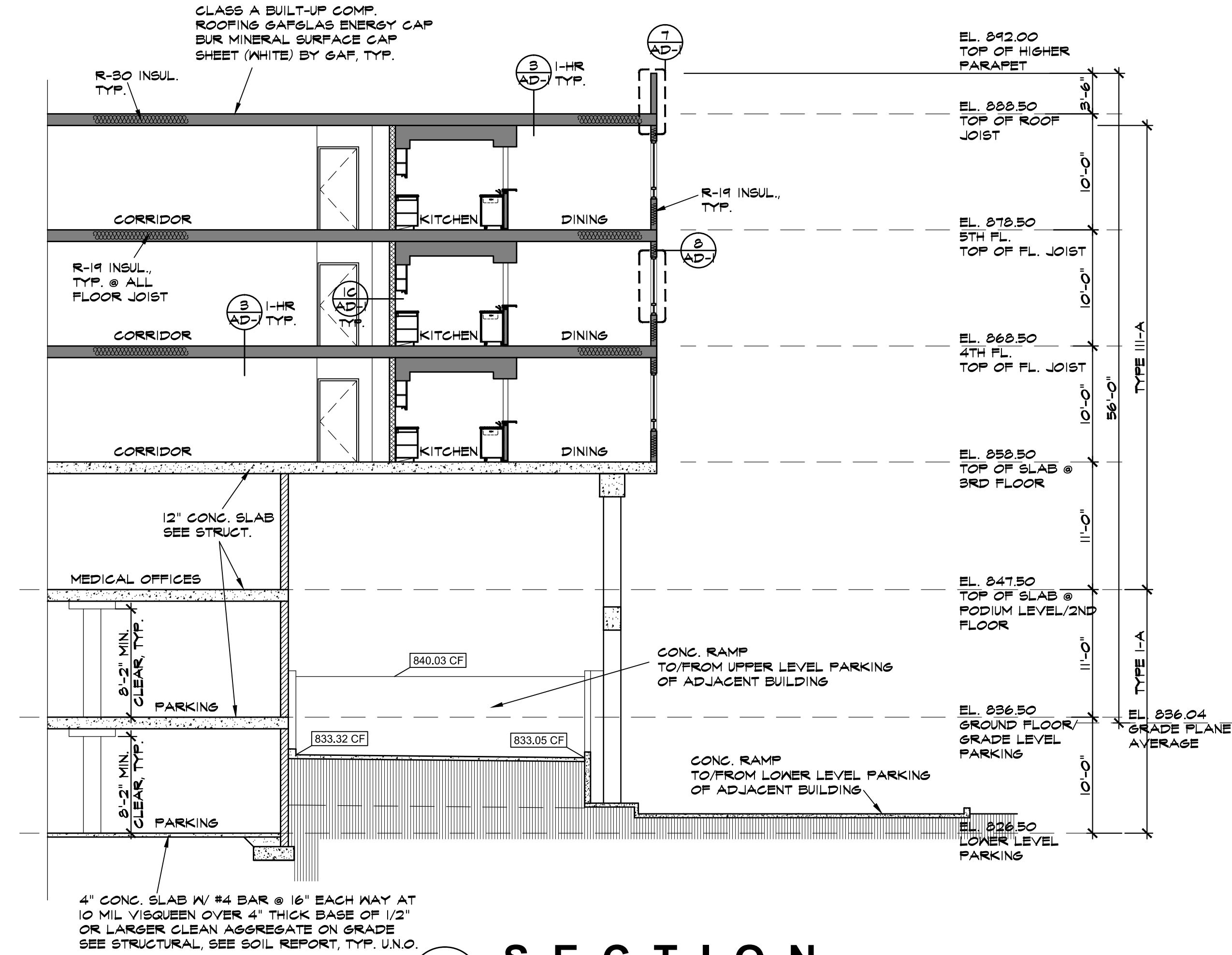
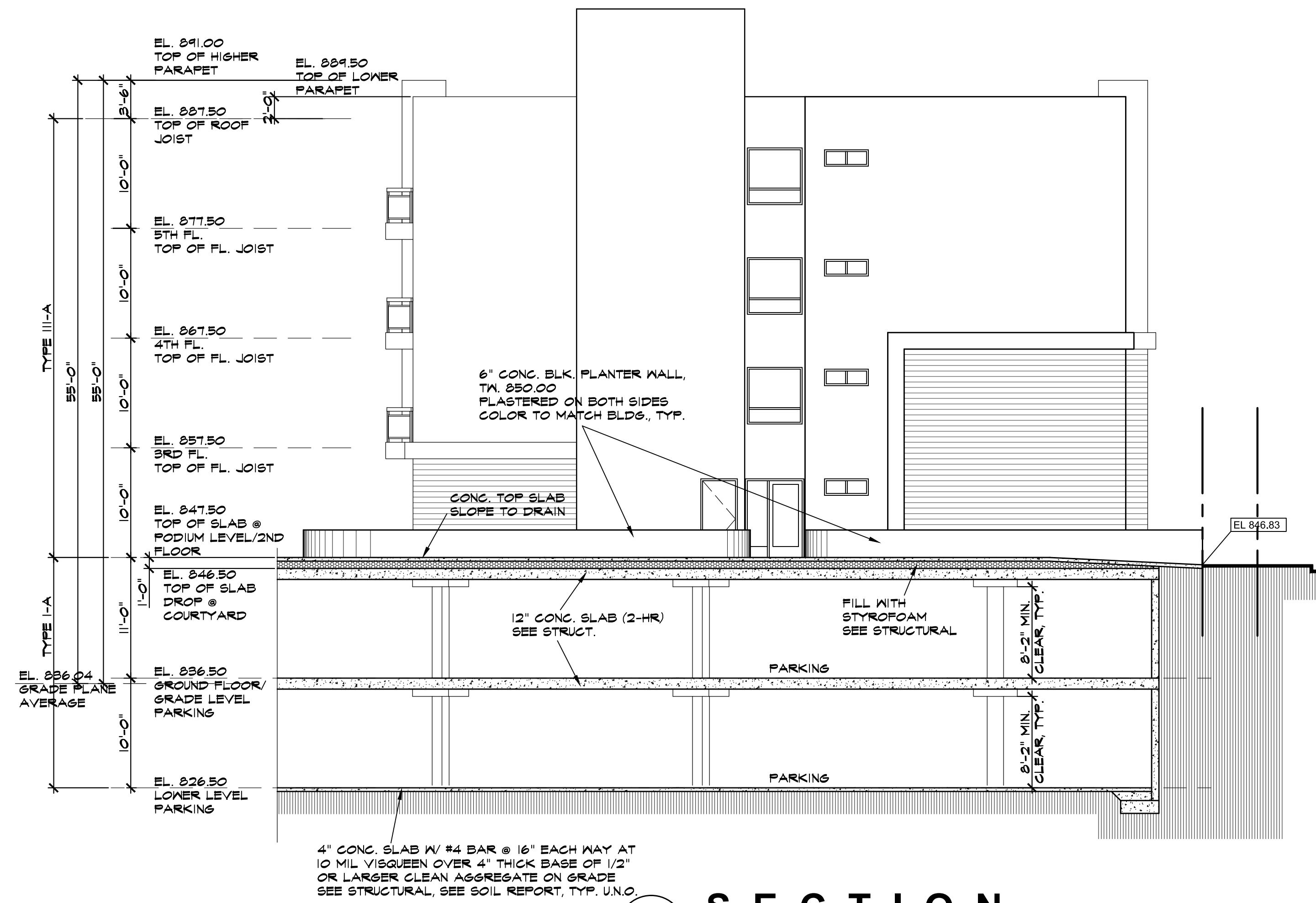
TABLE 721.1(3) MINIMUM SLAB THICKNESS (INCHES)

CONCRETE TYPE	FIRE-RESISTANCE RATING (HOURS)
	3
SILICEOUS	6.2
CARBONATE	5.7
SAND-LIGHTWEIGHT	4.6
LIGHTWEIGHT	4.4



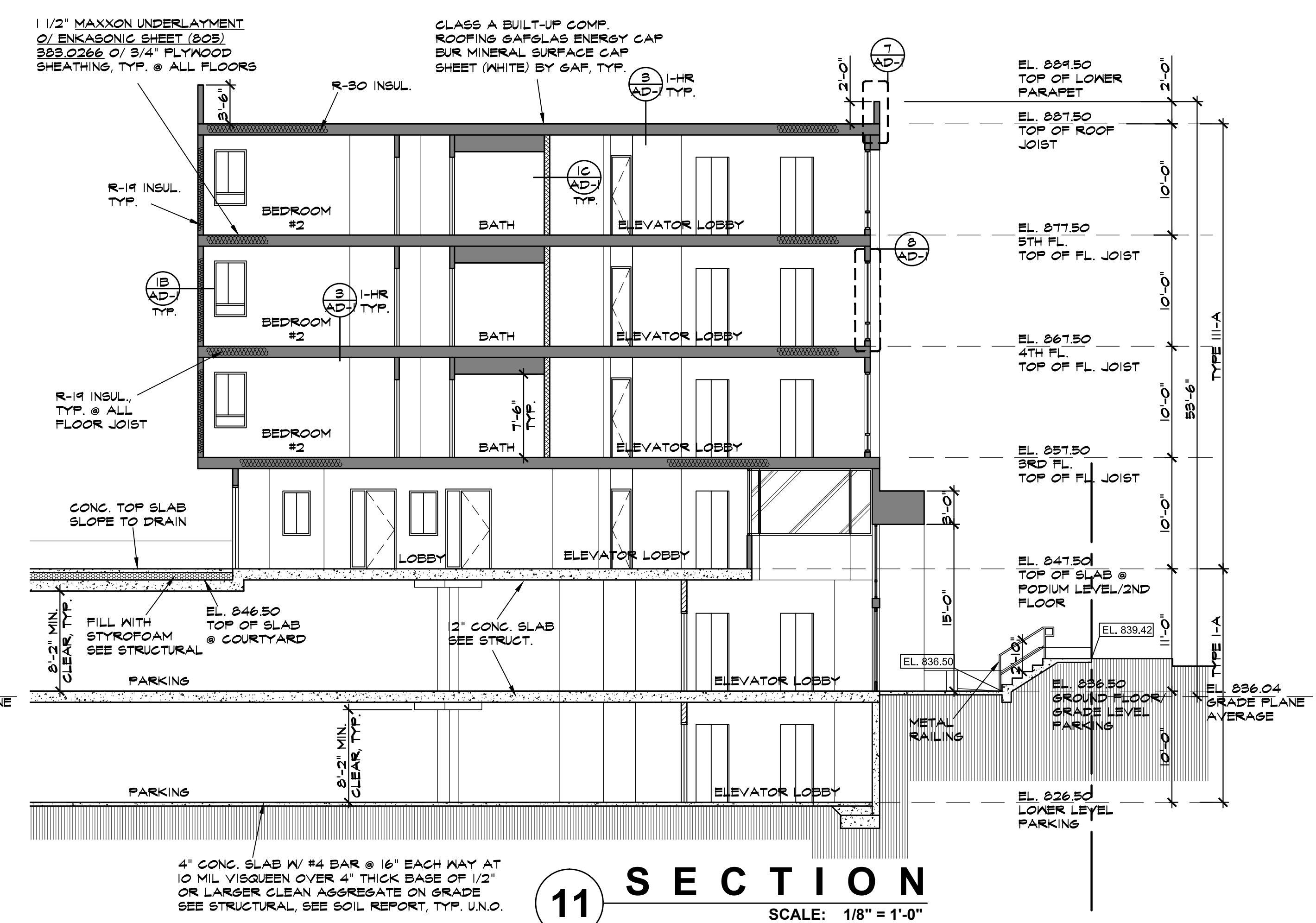
SCHEMATIC SECTION SHOWING FIRE-RATING REQUIREMENT FOR FLOORING/ROOF

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11 **SECTION** SCALE: 1/8" = 1'-0"



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04-14-15		THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO THAT USE. NO REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF NARAGHI & ASSOCIATES ARCHITECTS WITHOUT PREJUDICE VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OR THE RESTRICTIONS.	PROJECT: WEST HILLS MIXED-USE BUILDING (MEDICAL OFF & 127-UNIT APT.) ADDRESS: 23133 N. SHERMAN PLACE, WEST HILLS, CA		A-23 OF SHEETS	